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1302 W. 25TH STREET

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Indianapolis, Indiana 46208

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09-08-2020
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NO.	DESCRIPTION	DATE

COVER SHEET

000-G

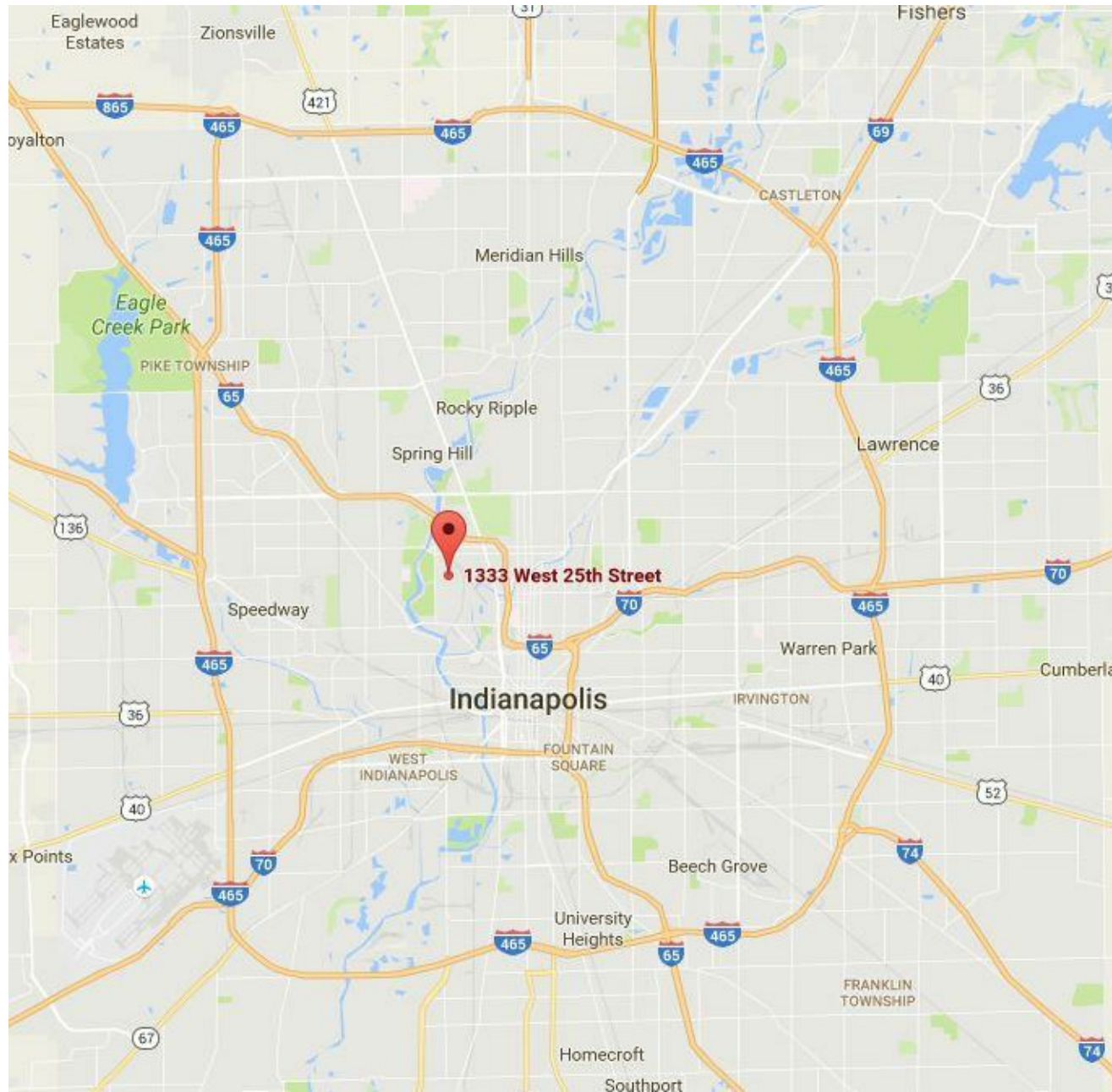
1302 W. 25TH STREET, INDIANAPOLIS, INDIANA 46208

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STATE MAP



VICINITY PLAN



LOCATION PLAN



GERNAL NOTES
1/2" = 1'-0"

THE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, DIMENSIONS OF THE BUILDING, MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL SYSTEM. AS SCOPE REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE TRADE CONTRACTORS SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.

THESE CONTRACT DOCUMENTS DO NOT ATTEMPT TO INSTRUCT THE CONTRACTOR IN THE SPECIFIC DETAILS OF HIS TRADE.

ALL WORK SHALL BE IN ACCORDANCE WITH THE QUALITY STANDARDS OF THE TRADE AND SHALL BE INSTALLED IN COMPLIANCE, AS A MINIMUM STANDARD, TO ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND MANUFACTURER'S RECOMMENDATIONS.

ALL WORK SHALL BE WARRANTED SATISFACTORY, IN MATERIALS AND WORKMANSHIP, FOR A MINIMUM PERIOD OF ONE (1) YEAR OR FOR THE CUSTOMARY PERIOD OF WARRANTY OR AS STIPULATED FOR THE TRADE, CRAFT OR PRODUCT WHICHEVER IS LONGER.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND JOB CONDITIONS PRIOR TO STARTING CONSTRUCTION UNLESS OTHERWISE INDICATED. NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION.

THE COORDINATION OF ALL MATERIALS, LABOR AND WORKMANSHIP IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

COMMENCING WORK BY A CONTRACTOR OR SUBCONTRACTOR CONSTITUTES ACCEPTANCE OF THE CONDITIONS AND SURFACE CONCERNED. IF SUCH CONDITIONS OR SURFACES ARE UNACCEPTABLE, THE GENERAL CONTRACTOR SHALL BE NOTIFIED IMMEDIATELY AND WORK SHOULD CEASE UNTIL THE UNACCEPTABLE CONDITIONS CAN BE REMEDIED.

THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING LOCAL BUILDING OFFICIALS AND INSPECTORS FOR PERMITS AND INSPECTIONS. ADVISE THE ARCHITECT IMMEDIATELY OF AN DISCREPANCIES.

THE GENERAL CONTRACTOR IS SHALL PROVIDE A THOROUGH CONSTRUCTION CLEAN-UP PRIOR TO OWNER/TENANT TAKING OCCUPANCY OF ANY SPACE. CLEAN-UP SHALL INCLUDE, BUT NOT BE LIMITED TO CLEANING ALL SURFACES AND VACUUM AND CLEANING ALL CARPETING AND WINDOW TREATMENTS.

PROVIDE METAL OR FIRE RETARDANT TREATED WOOD BLOCKING IN NEW AND EXISTING WALLS FOR ALL WALL SUPPORTED ITEMS. AT ALL EXISTING WALLS, PATCH AND REPAIR WALL FINISH TO MATCH ADJACENT WALL SURFACE AS REQUIRED FOLLOWING THE INSTALLATION OF BLOCKING.

TRANSPORT TRASH, RUBBISH AND DEBRIS FROM THE SITE AND LEGALLY DISPOSE OF SAME. THE MANNER OF REMOVAL MUST BE CONFIRMED WITH THE OWNER AND AS ALLOWED BY CITY AND STATE REGULATIONS.

ALL DIMENSIONS ARE TAKEN FROM FACE OF STUD OR FACE OF BLOCK OR CONCRETE TO FACE OF STUD OR FACE OF BLOCK OR CONCRETE, COLUMN LINES, UNLESS OTHERWISE SPECIFIED.

DO NOT SCALE DRAWINGS. REFER TO DIMENSIONS ILLUSTRATED ON DRAWINGS, NOTIFY THE ARCHITECT/ENGINEER OF DISCREPANCIES FOR CLARIFICATION.

ABBREVIATIONS
1/8" = 1'-0"

ACP	ACOUSTIC CEILING PANEL	LAM	LAMINATE
ACG	ACOUSTIC CEILING GRID	MATL	MATERIAL
ADJ	ADJACENT	MAX	MAXIMUM
A.F.F.	ABOVE FINISHED FLOOR	MFR	MANUFACTURER
ALUM	ALUMINUM	M.O.	MASONRY OPENING
APC	ACOUSTICAL PANEL CEILING	MIN	MINIMUM
ASSBY	ASSEMBLY	MTL	METAL
CLG	CEILING	N.I.C.	NOT IN CONTRACT
C.J.	CONTROL JOINT	OFCI	OWNER FURNISHED CONTRACTOR INSTALL
CLR	CLEAR	OFOI	OWNER FURNISHED OWNER INSTALL
CMU	CONCRETE MASONRY UNIT	O.C.	ON CENTER
CONC	CONCRETE	O.H.	OVERHEAD
CONST	CONSTRUCTION	OPP	OPPOSITE HAND
DIA	DIAMETER	P-LAM	PLASTIC LAMINATE
DIV	DIVISION	REF.	REFERENCE, REFER TO
DWGS	DRAWINGS	REQ'D	REQUIRED
E.J.	EXPANSION JOINT	R.O.	ROUGH OPENING
ELEV	ELEVATION	S.F.	SQUARE FOOT
EQ	EQUAL	SHT	SHEET
ETC	ETCETERA	SIM	SIMILAR
EX/EXIST'G	EXISTING	STRUCT.	STRUCTURAL
FD	FLOOR DRAIN	TYP.	TYPICAL
FIN	FINISH	T&G	TONGUE AND GROOVE
GWB	GYPSUM WALL BOARD	V.I.F.	VERIFY IN FIELD
HM	HOLLOW METAL	U.N.O.	UNLESS NOTED OTHERWISE
HR	HOOR	W/	WITH
JT.	JOINT	W/O	WITHOUT

PLAN LEGEND
1/8" = 1'-0"

DETAIL NUMBER	EXISTING DOOR
SHEET NUMBER	EXISTING WALL
ELEVATION NUMBER	NEW DOOR
SHEET NUMBER	NEW WALL
SECTION NUMBER	WINDOW TAG
SHEET NUMBER	ROOM NAME, NUMBER
PLAN NOTE (NEW CONSTRUCTION)	DOOR NUMBER
PLAN NOTE (DEMOLITION)	SURFACE MOUNTED FIRE EXTINGUISHER CABINET
ACCESSORY NOTE	PARTIAL RECESSED FIRE EXTINGUISHER CABINET
REVISION TAG	C.J. CONTROL JOINT
CEILING TAG	E.J. EXPANSION JOINT
WALL TAG	MATCH LINE
TYPE OPTIONS	W1 4" inch WALL
ELEVATION TARGET	W2 6" inch WALL

ALL STUD WALLS SHALL BE SECURED TO THE CONCRETE FLOOR AND CEILING OR FLOOR/ROOF CONSTRUCTION ABOVE. PROVIDE EXPANSION/CONTROL JOINTS IN THE GYPSUM WALL BOARD WALLS OVER 30'-0" IN LENGTH PER THE MANUFACTURER'S RECOMMENDATIONS. COORDINATE LOCATION OF EXPANSION/CONTROL JOINTS WITH THE ARCHITECT PRIOR TO INSTALLATION FOR COMPLIANCE WITH DESIGN INTENT.

ALL STUD OR MASONRY WALLS EXTENDING FROM FLOOR TO ROOF/FLOOR STRUCTURE ABOVE MUST PROVIDE FOR A MINIMUM OF 2" VERTICAL ROOF/FLOOR DEFLECTION.

ALL JOINTS AND PENETRATIONS OF FIRE RATED ASSEMBLIES TO BE SEALED WITH APPROVED U.L. LISTED "F" AND "T" SYSTEMS. SUBMIT PRODUCT DATA AND INSTALLATION INFORMATION PRIOR TO INSTALLATION FOR ARCHITECTS APPROVAL.

FURNISH AND INSTALL PLUMBING FIXTURES AS SHOWN. ALL EXPOSED PIPING AND SUPPLY FITTINGS SHALL BE CHROME PLATED UNLESS OTHERWISE INDICATED. ALL WALL PENETRATIONS SHALL BE FITTED WITH CHROMIUM PLATED ESCUTCHEONS.

FIXTURES INDICATE AS HANDICAP ACCESSIBLE SHALL COMPLY WITH A.D.A. REQUIREMENTS.

HOT WATER AND DRAIN PIPES UNDER LAVATORIES AND HANDICAP ACCESSIBLE SINKS SHALL BE INSTALLED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT.

WHERE DISSIMILAR FLOOR MATERIALS MEET, THEY SHALL DO SO UNDER THE CENTERLINE OF A DOOR UNLESS OTHERWISE INDICATED.

HINGE SIDE OF FINISH DOOR JAMB IN METAL STUD WALLS SHALL TYPICALLY BE LOCATED 6" FROM ADJACENT FINISHED WALL UNLESS OTHERWISE INDICATED.

MATERIALS EXPOSED WITHIN PLENUM SPACES DESIGNED TO ALLOW AIR MOVEMENT AND FUNCTION AS PART OF THE AIR DISTRIBUTION SYSTEM ARE REQUIRED TO BE NONCOMBUSTIBLE OR SHALL HAVE A FLAME SPREAD INDEX LESS THAN 25 AND A SMOKE DEVELOPED INDEX LESS THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84.

APPLICATION OF FINISH COAT TO SURFACE INDICATES THAT CONTRACTOR HAS ACCEPTED SUBSTRATE AS BEING SATISFACTORY.

ALL WALLS AROUND TOILET ROOMS ARE TO HAVE BATT INSULATION INSTALLED FULL DEPTH AND HEIGHT.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE BUILDING LINES AND LEVELS AND KEEPING THE STRUCTURE IN SQUARE. THE GENERAL CONTRACTOR SHALL COMPARE CAREFULLY THE LINES AND LEVELS SHOWN ON THE DRAWINGS WITH EXISTING LEVELS FOR THE CONSTRUCTION OF THE WORK. THEY SHALL CALL THE ARCHITECT'S ATTENTION TO ANY DISCREPANCIES BEFORE PROCEEDING WITH ANY REQUIRED CORRECTION TO THE WORK.

ALL LUMBER IN CONTACT WITH CONCRETE MASONRY OR SOIL SHALL BE WATER RESISTANT PRESSURE TREATED.

PROVIDE RODENT AND INSECT PROOFING WHERE ALL PLUMBING, WIRING, AND VENTS PASS THROUGH PLATES, AS PER CODE REQUIREMENTS.

CONTACT RESPECTIVE UTILITY COMPANIES FOR EXACT LOCATIONS OF UNDERGROUND SERVICES PRIOR TO START OF CONSTRUCTION. TAKE EVERY PRECAUTION NECESSARY TO PROTECT EXISTING SERVICES DURING CONSTRUCTION.

REVIEW ALL DRAWINGS (ARCHITECTURAL, MECHANICAL, ELECTRICAL, STRUCTURAL), FOR ALL INFORMATION CONCERNING SLEEVES, BOXES, ANCHORS, VENTS, OPENINGS, ETC., THAT MAY BE REQUIRED. EACH RESPECTIVE TRADE IS RESPONSIBLE FOR PROVIDING AND INSTALLING THESE ITEMS.

CODE SUMMARY

2020 INDIANA RESIDENTIAL CODE

DESIGN WIND SPEED 90
SEISMIC ZONE B

LAND ZONING

D5

TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS

ATTICS - INACCESSIBLE	10 PSF
ATTICS - W/ LIMITED STORAGE	20 PSF
BALCONIES - EXTERIOR	60 PSF
DECKS	40 PSF
GARAGES	50 PSF
ROOMS OTHER THAN SLEEPING ROOMS	40 PSF
SLEEPING ROOMS	30 PSF
GUARDS & HANDRAILS	200 SF CONCENTRATED LOAD
STAIRS	40 PSF W/ 300 PSF CONCENTRATED LOAD

EMERGENCY ESCAPE AND RESCUE OPENINGS

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING

SMOKE ALARMS

REQUIRED SMOKE ALARM LOCATIONS:
LIVING AREA
ALL BEDROOMS OR SLEEPING AREAS
ON THE CEILING OF THE UPPER LEVEL
NEAR THE TOP OR ABOVE EACH STAIRWAY

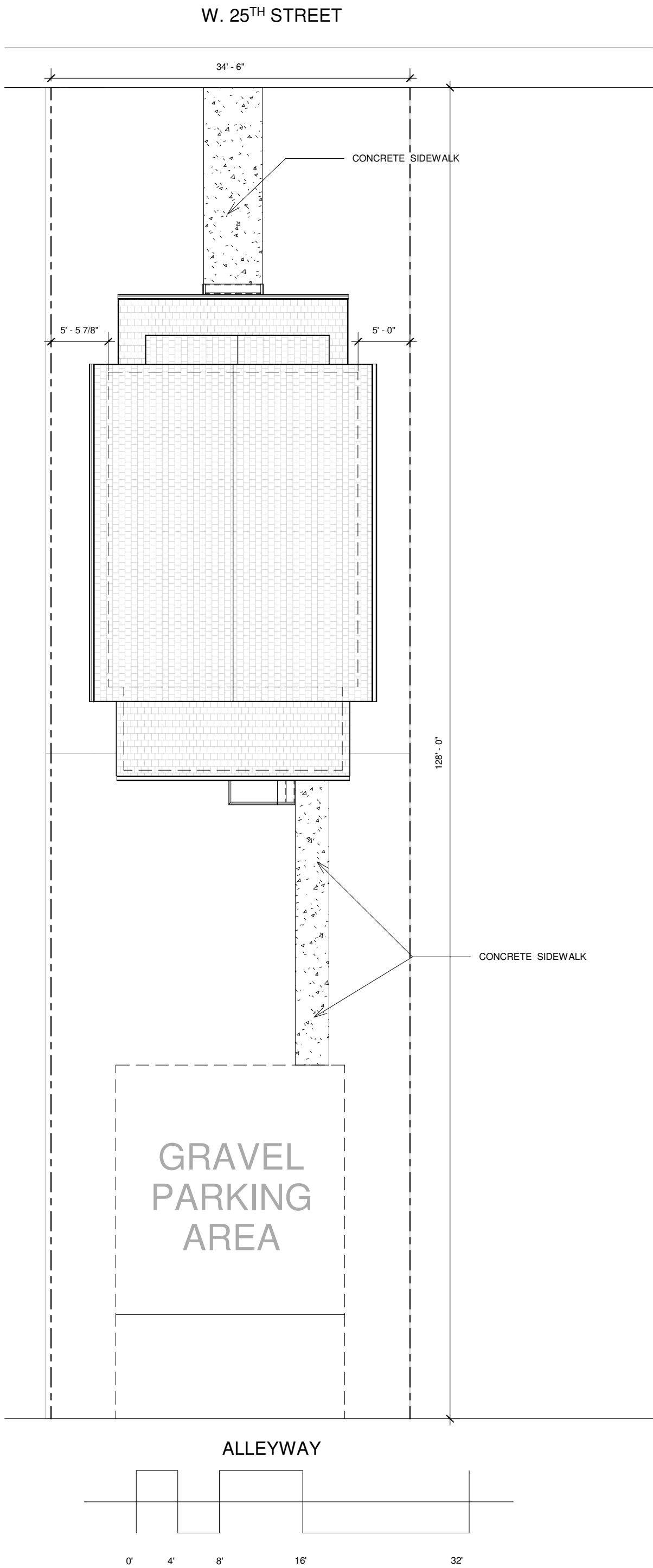
BUILDING GROSS S.F.

SINGLE FAMILY PARKING PAD	1604 S.F.
PARKING PAD	528 S.F.
TOTAL AREA:	2,132 S.F.
TOTAL LIVABLE SPACE	1604 S.F.

GENERAL FRAMING NOTES

- PROVIDE COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND JOIST 48" O.C. AT CONVENTIONAL ROOF FRAMING.
- ALL HEADERS TO BE DOUBLE 2" X 12" WITH CONTINUOUS FULL PLYWOOD BETWEEN AT EXTERIOR WALLS.
- PROVIDE "X" BRIDGING AT 8'-0" FOR CONVENTIONAL FLOOR JOIST FRAMING.
- PROVIDE DOUBLE 2" X 8" STRONGBACK AT CONVENTIONAL CEILING JOIST SPANS OVER 10'-0".
- PROVIDE MIN. 3 STUDS UNDER ALL BEAM BEARING LOCATIONS.
- PROVIDE CONTINUOUS 2-1/2" EAVE VENT IN SOFFIT FOR ATTIC VENTILATION.
- PROVIDE 1/2" CDX FIR PLYWOOD SHEATHING AT ALL EXTERIOR STUD WALLS.
- FLOOR AND ROOF TRUSSES SHALL BE EQUAL TO TRIM JOIST OR MITEX TRUSSES.
- SUBMIT FRAMING LAYOUT TO ARCHITECT FOR CHECKING RELATIONSHIP TO DRAWINGS.
- PROVIDE SOLID WOOD BLOCKING AT MID POINT OF HEIGHT IN ALL STUD WALLS.
- SUB FLOORING TO BE 3/4" T & G FIR PLYWOOD.
- ROOF DECKING TO BE 1/2" CDX PLYWOOD FOR SHINGLES & SHAKES. 3/4" T & G CDX PLYWOOD FOR SLATE & TILE ROOFING.
- DESIGN LOADS:
ROOF SYSTEM SLATE OR TILE 45 PSF LL 25 PSF DL L/480 DEFL
OR METAL 30 PSF LL 10 PSF DL L/360 DEFL
FLOOR SYSTEM 60 PSF LL 40 PSF DL L/480 DEFL
SEISMIC LOAD ZONE B OCCUPANCY IV
WIND LOAD BASIC SPEED - 90 MPH EXP. B
ROOF TRUSSES TOP CHORD 30 PSF LL, 20 PSF DL
BOTTOM CHORD 10 PSF DL

GENERAL FRAMING NOTES
1/2" = 1'-0"



1 Site Plan
1" = 10'-0"



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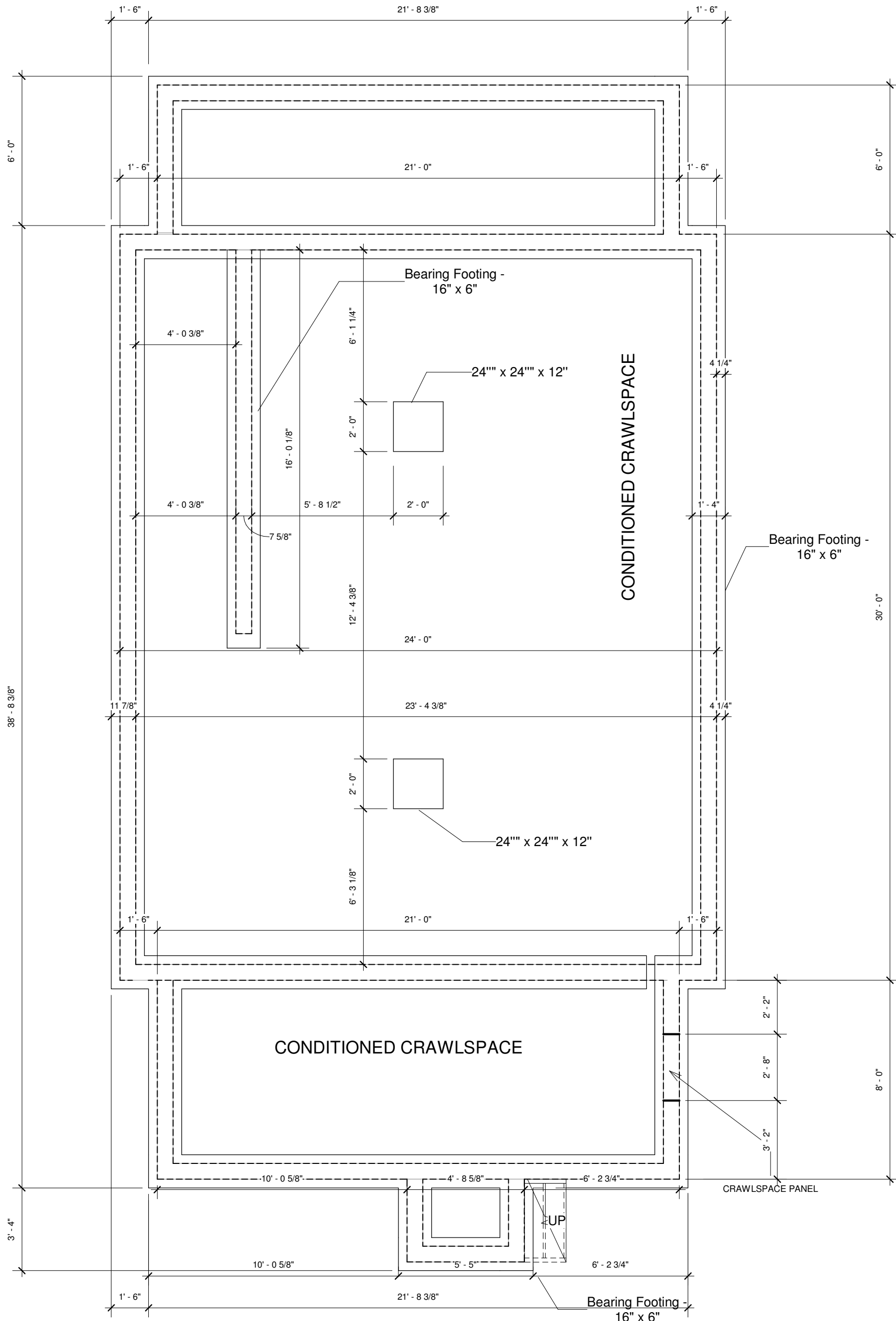
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GENERAL NOTES &
SITE PLAN

001-G

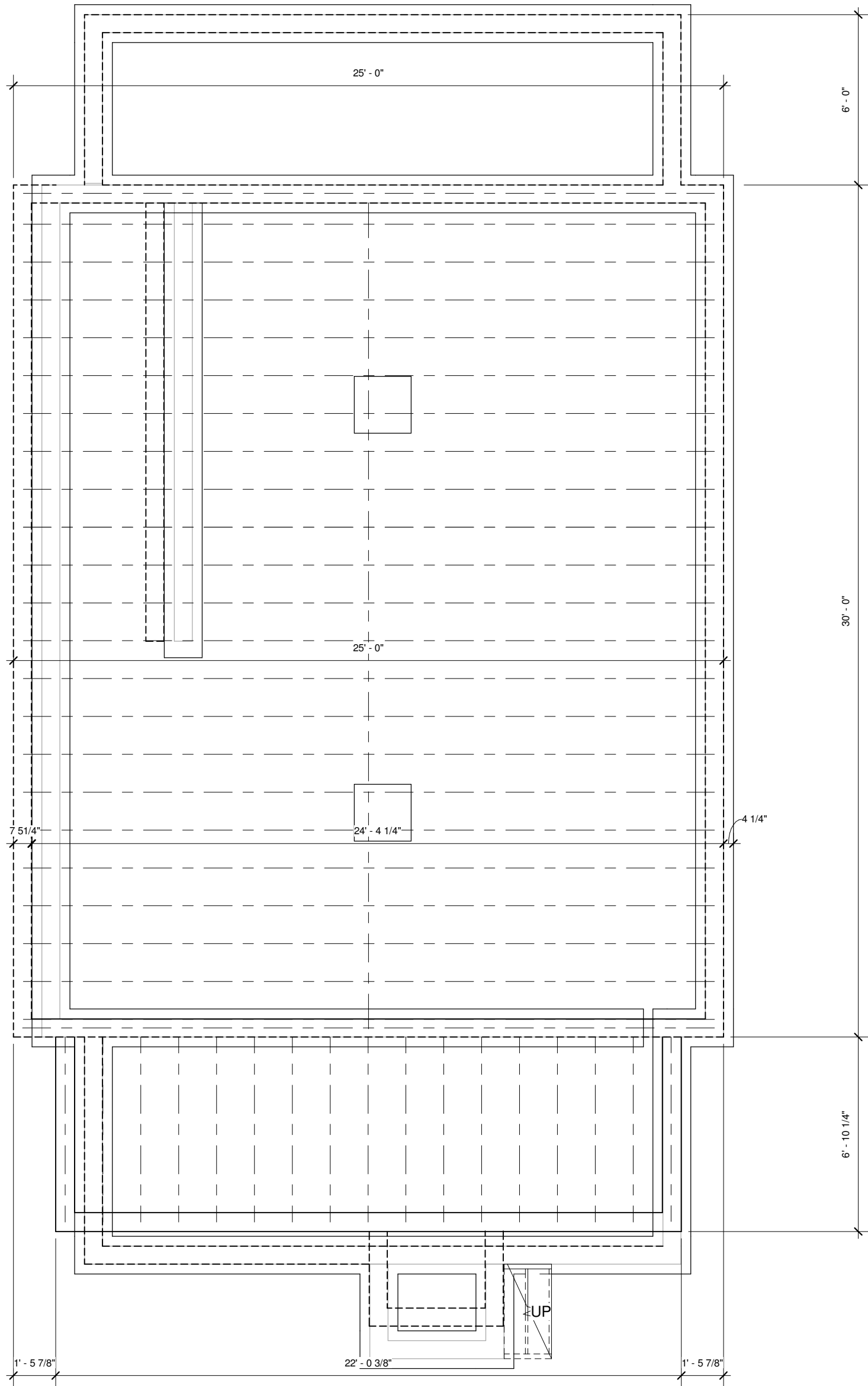


① Foundation
1/4" = 1'-0"

FOUNDATION NOTES

1. REINFORCED CONCRETE DESIGN ENT. STRENGTH AIR
A. WALL FLOORING, SPREAD FOOTINGS, AND ALL CONCRETE BELOW FROST LINE. 3000 PSF 2%
B. EXTERIOR SLABS, PIERS, WALLS, COLUMNS, GRADE BEAMS, AND ALL CONC. EXPOSED TO FREEZE/THAW 3000 PSF 6%
C. INTERIOR SLABS 4000 PSF 2%
2. ALLOWABLE SOIL BEARING PRESSURE
A. SPREAD FOOTING 1500 PSF
B. WALL FOOTING 1500 PSF
3. FOOTINGS SHALL BE PLACED ON FIRM UNDISTURBED SOIL OR ENGINEERED FILL & MIN. OF 32" FROM TOP OF FOOTING TO FINISH GRADE.
4. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED AND SITTING ON CONTINUOUS SILL SEAL.
5. ANCHOR BOLTS SHALL BE 1/2" X 18" AT 6'-0" O.C. AND WITHIN 12" FROM END OF SILLS AND CORNERS. PROVIDE MIN. OF 2 BOLTS PER SILL IF LESS THAN 8'-0" LONG. PLATES ON TURNED DOWN SLAB MIN. 2 BOLTS PER SILL EMBEDDED 1/2" INTO FOOTING.
6. ON USE STEEL COLUMNS UNDER EACH END OF STEEL BEAM UNLESS BEARING CONCRETE WHEREAS THEY SHALL BEAR ON 1/4" STEEL PLATE. USE EITHER TUBE COLUMN OR ROUND STANDARD PIPE COLUMN UNLESS OTHERWISE NOTED.
7. WHERE STEEL COLUMNS BEAR ON CONCRETE FLOOR, PROVIDE A CONCRETE FOOTING PAD WITH REBARS AS NOTED ON PLAN.

○ FOUNDATION NOTES
1/4" = 1'-0"



② Framing Plan
1/4" = 1'-0"

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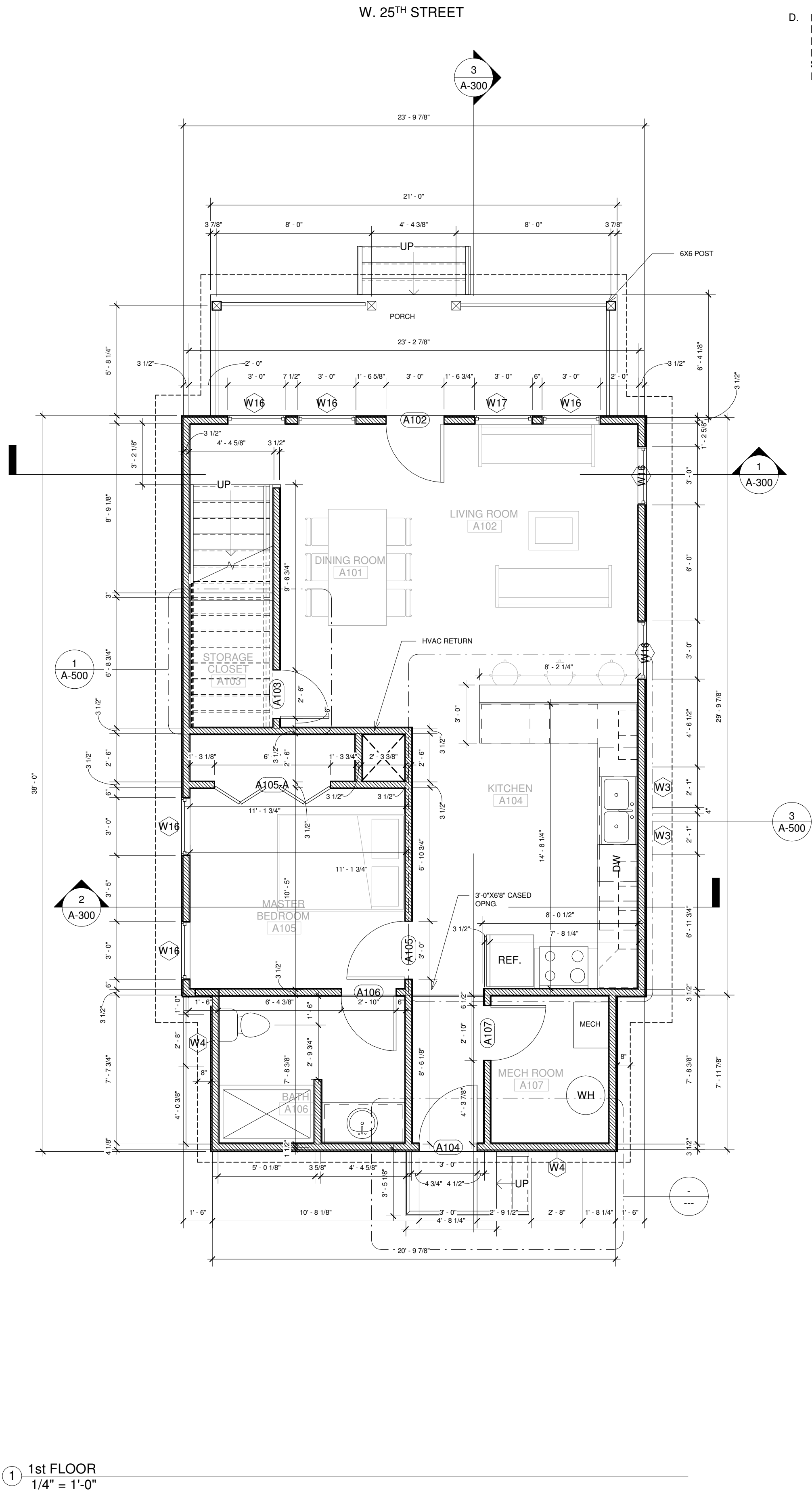
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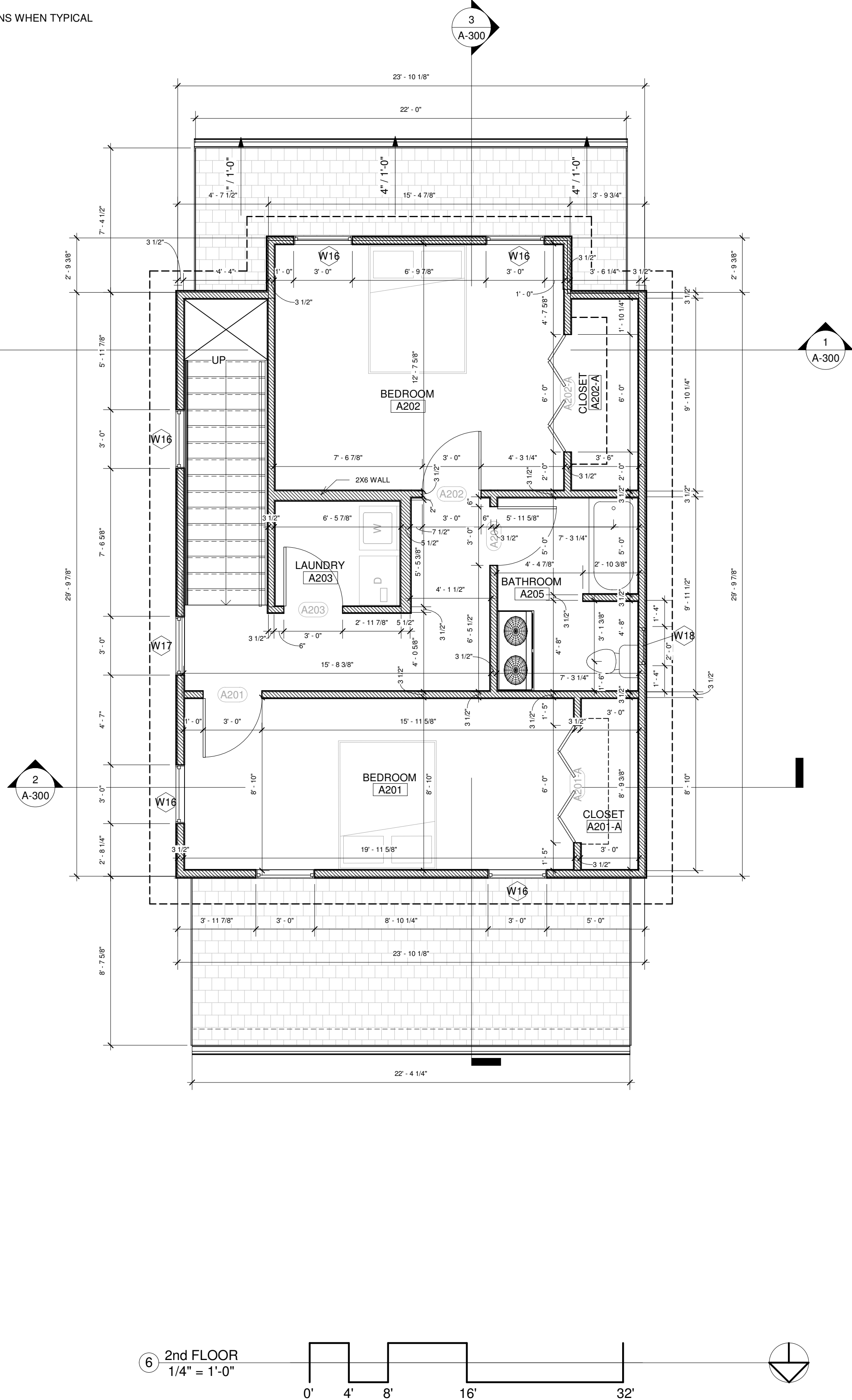
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FOUNDATION PLAN



GENERAL PLAN NOTES

- A. REFER TO WALL AND FLOOR ASSEMBLIES AND NOTES FOR CONSTRUCTION AND RATINGS OF WALLS
- B. ALL EXTERIOR WALLS ARE WALL TYPE 1 UNLESS NOTED OTHERWISE
- C. ALL DOORS ARE LOCATED 4" FROM A CORNER OR CENTERED IN WALL UNLESS DIMENSIONED OR NOTED OTHERWISE
- D. PROVIDE CANTS AND CRICKETS TO ACHIEVE POSITIVE DRAINAGE TO SCUPPERS & GUTTERS AND AS RECOMMENDED BY ROOFING MANUFACTURER. PROVIDE PARAPET BRACING AS REQUIRED BY STRUCTURAL SEE ROOF PLAN FOR ADDITIONAL INFORMATION
- E. WASHER/DRYERS DO NOT MIRROR. WASHER IS ALWAYS ON LEFT SIDE OF CLOSET TO ACCOMMODATE WASHER DOOR HINGE
- F. WALL HUNG SINKS, OPEN KITCHEN SINK AND OPEN WORK SURFACE @ ALL ACCESSIBLE TYPE 504 UNITS.
- G. REMOVABLE BASE CABINETS AT ALL LAVS, KITCHEN SINKS, AND WORK SURFACE @ ALL ACCESSIBLE TYPE A UNITS AND ANYWHERE ELSE WHERE NOTED
- H. REMOVABLE BASE CABINET AT ALL LAVS @ ALL TYPE B, VISITABLE, FHAH UNITS IF NOTED ON DRAWINGS
- I. SEE ACCESSIBILITY NOTES / SHEETS AND ALL TYPICAL AND GENERAL NOTES
- J. SEE BOTH OVERALL AND ENLARGED PLANS IF PROVIDED IN SET
- K. MIRROR ALL INTERIOR ELEVATIONS WHEN TYPICAL UNIT IS MIRRORED IN PLAN



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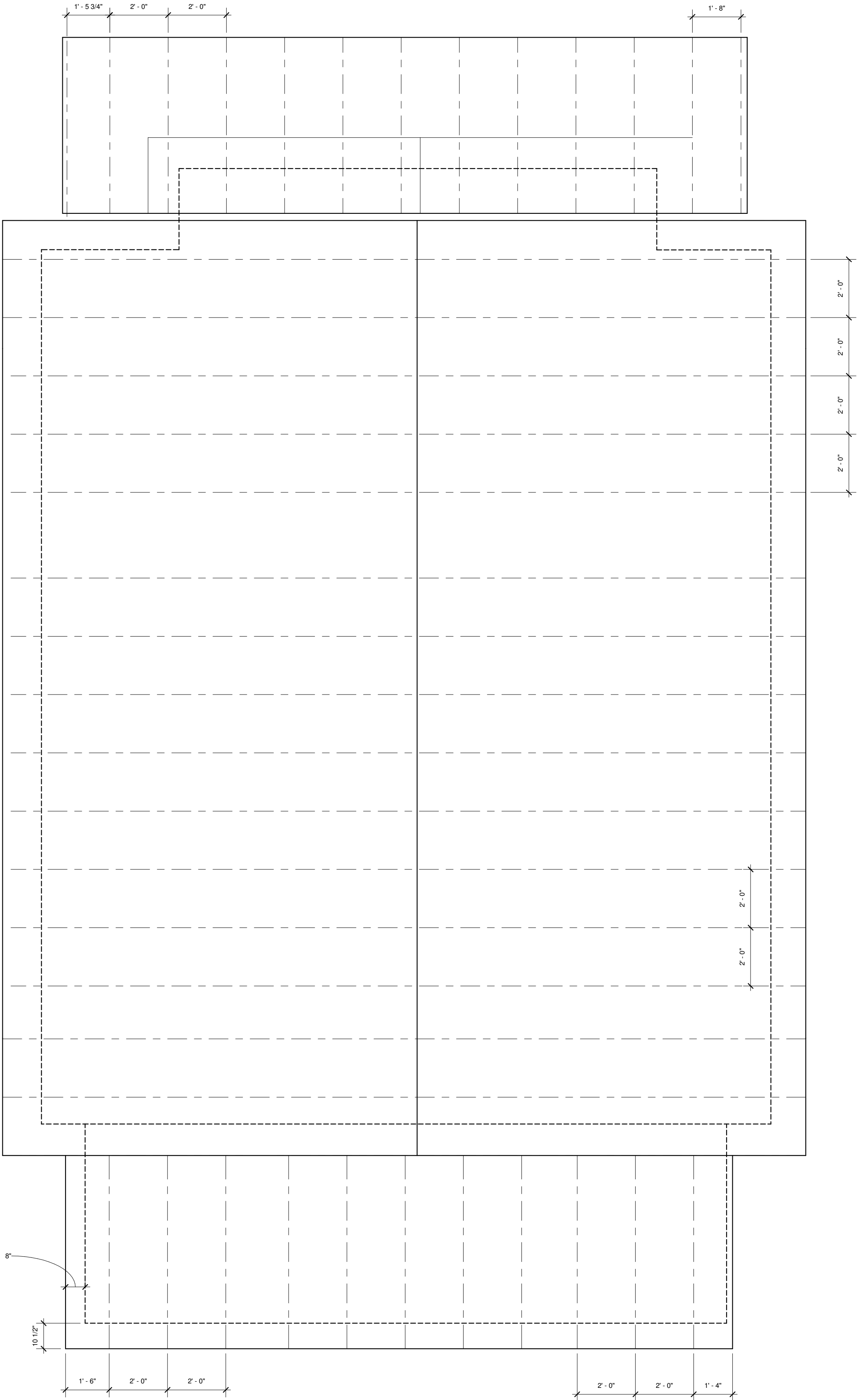
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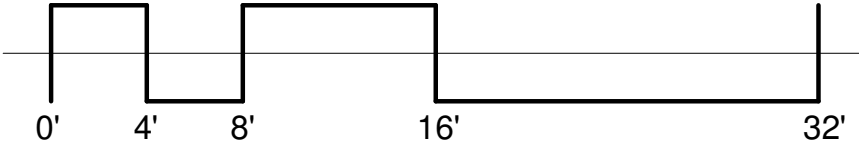
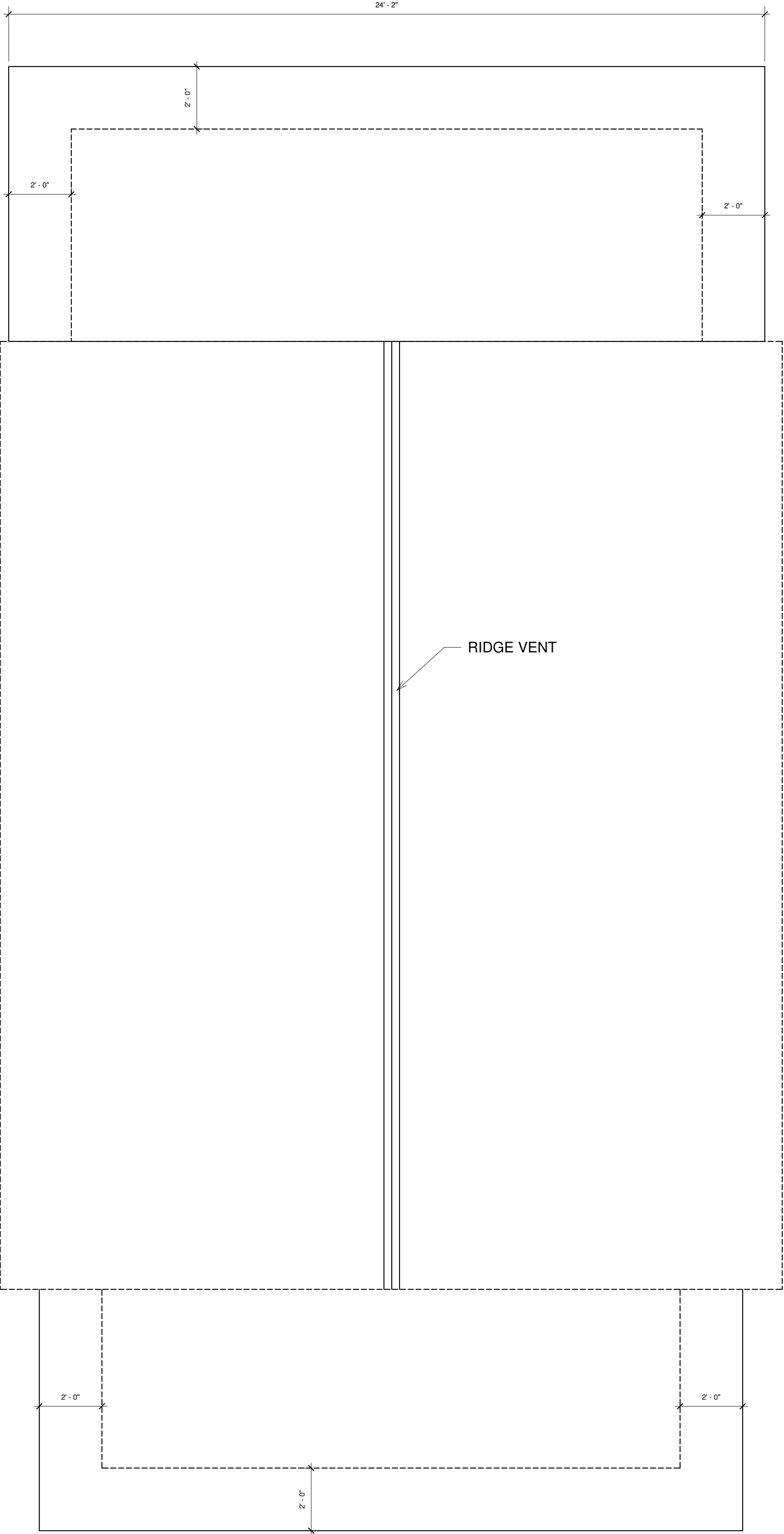
FLOOR PLANS

A-101

① T.O. Roof Framing
3/8" = 1'-0"



② T.O. Roof
3/8" = 1'-0"



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ROOF/FRAMING
PLANS

A-102

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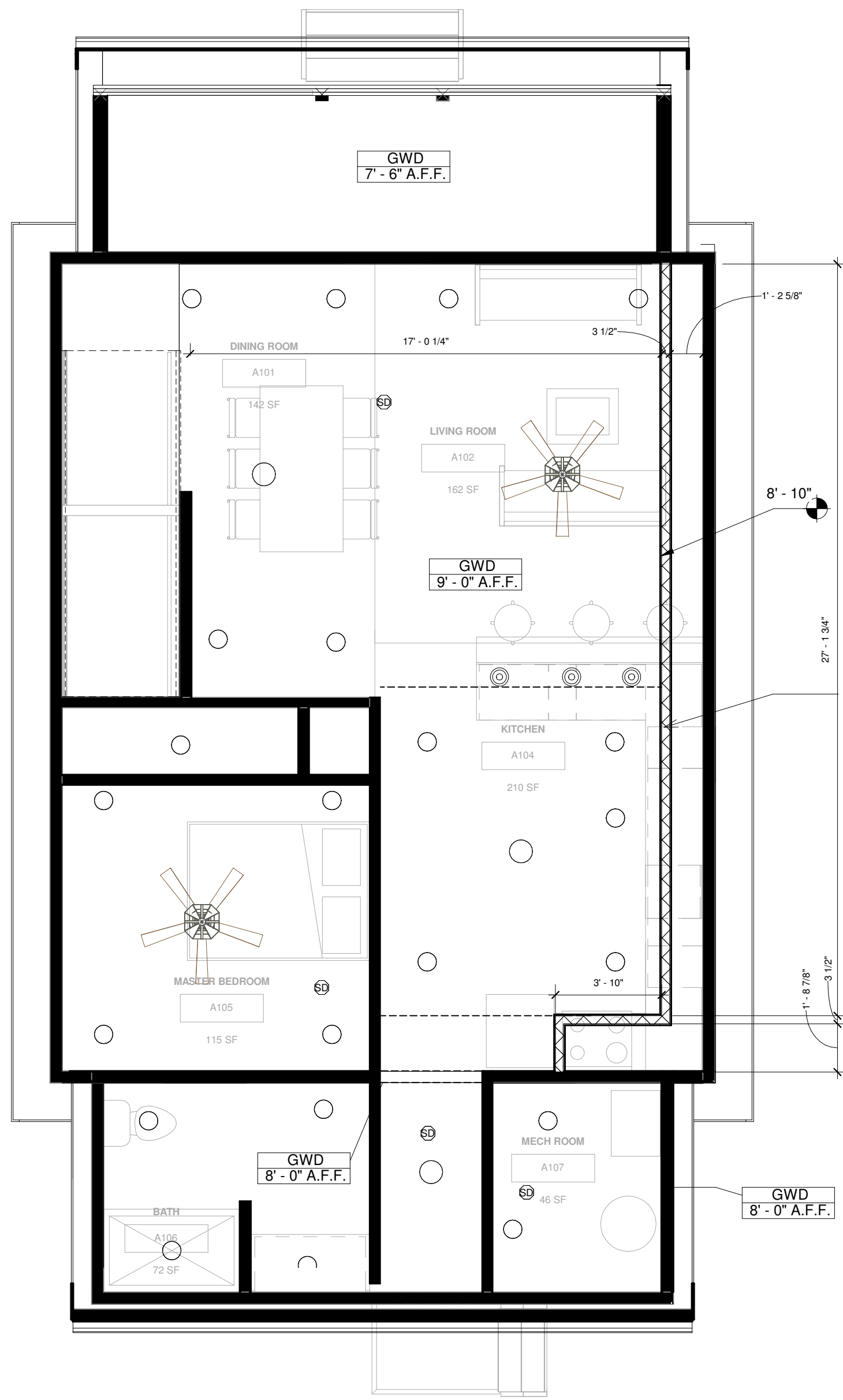
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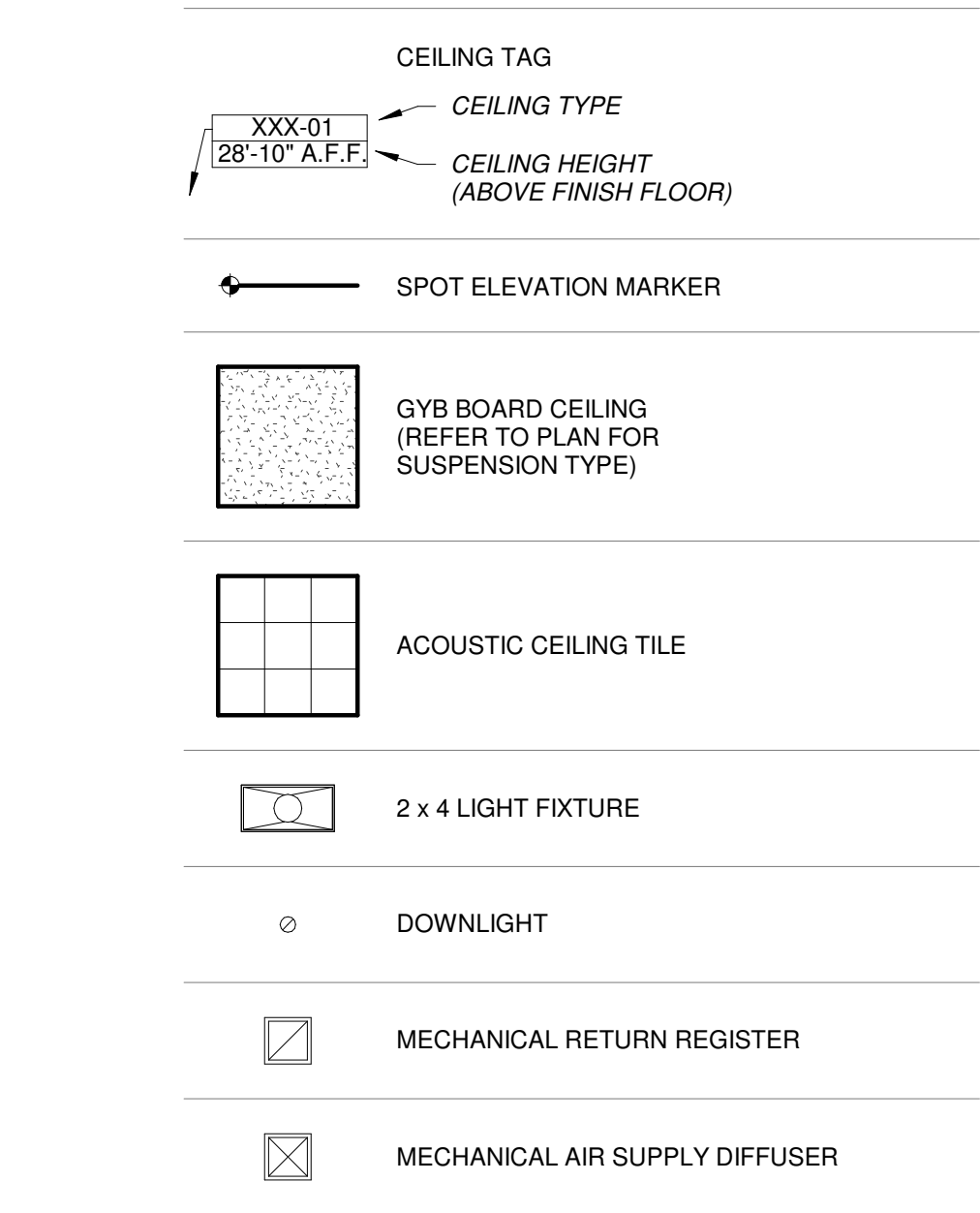
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CEILING PLAN

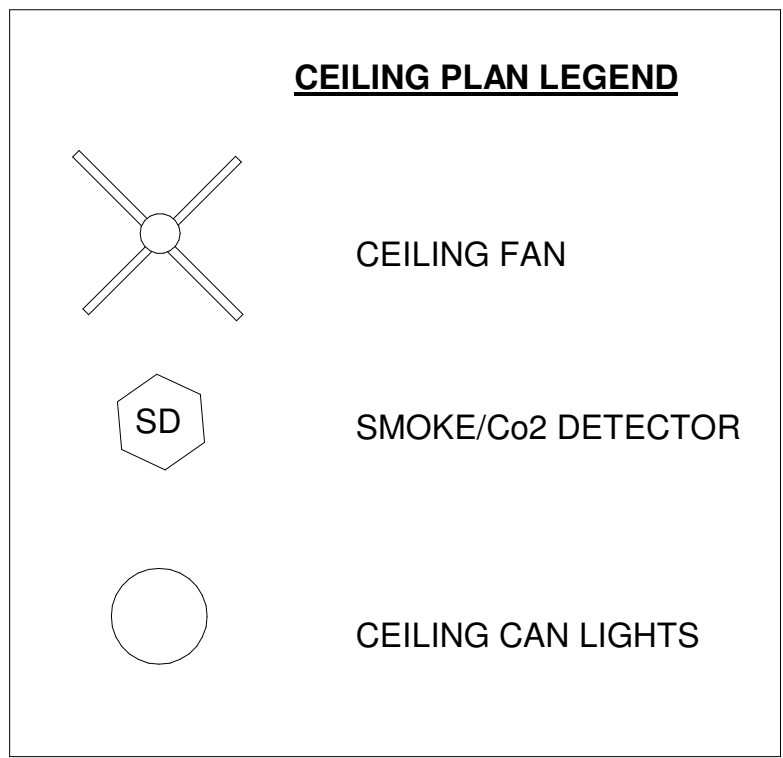
A-103



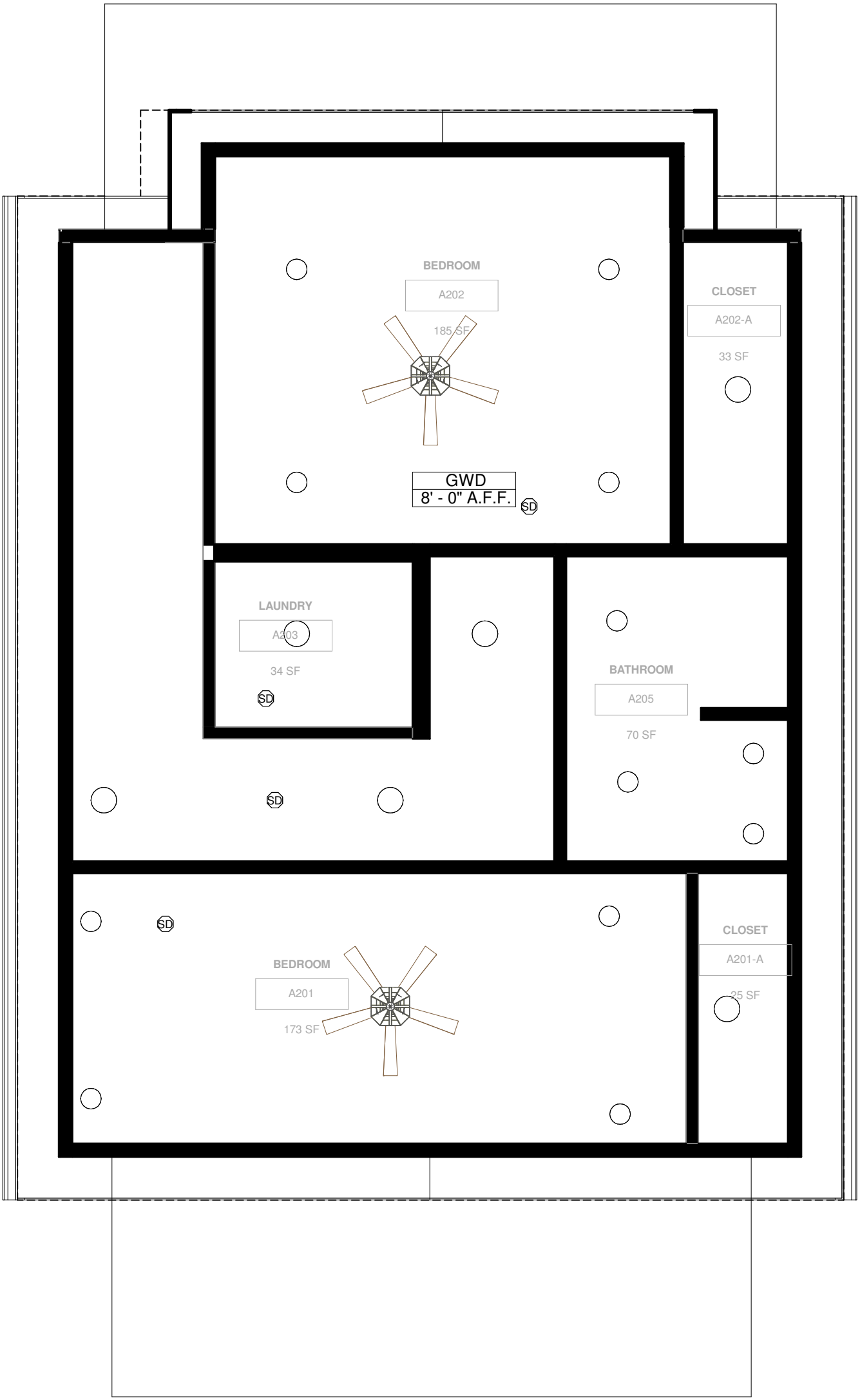
BLUKHEAD FOR MECH
TO BE FRAMED AFTER
MEP HAVE BEEN RAN



○ CEILING LEGEND
1/8" = 1'-0"

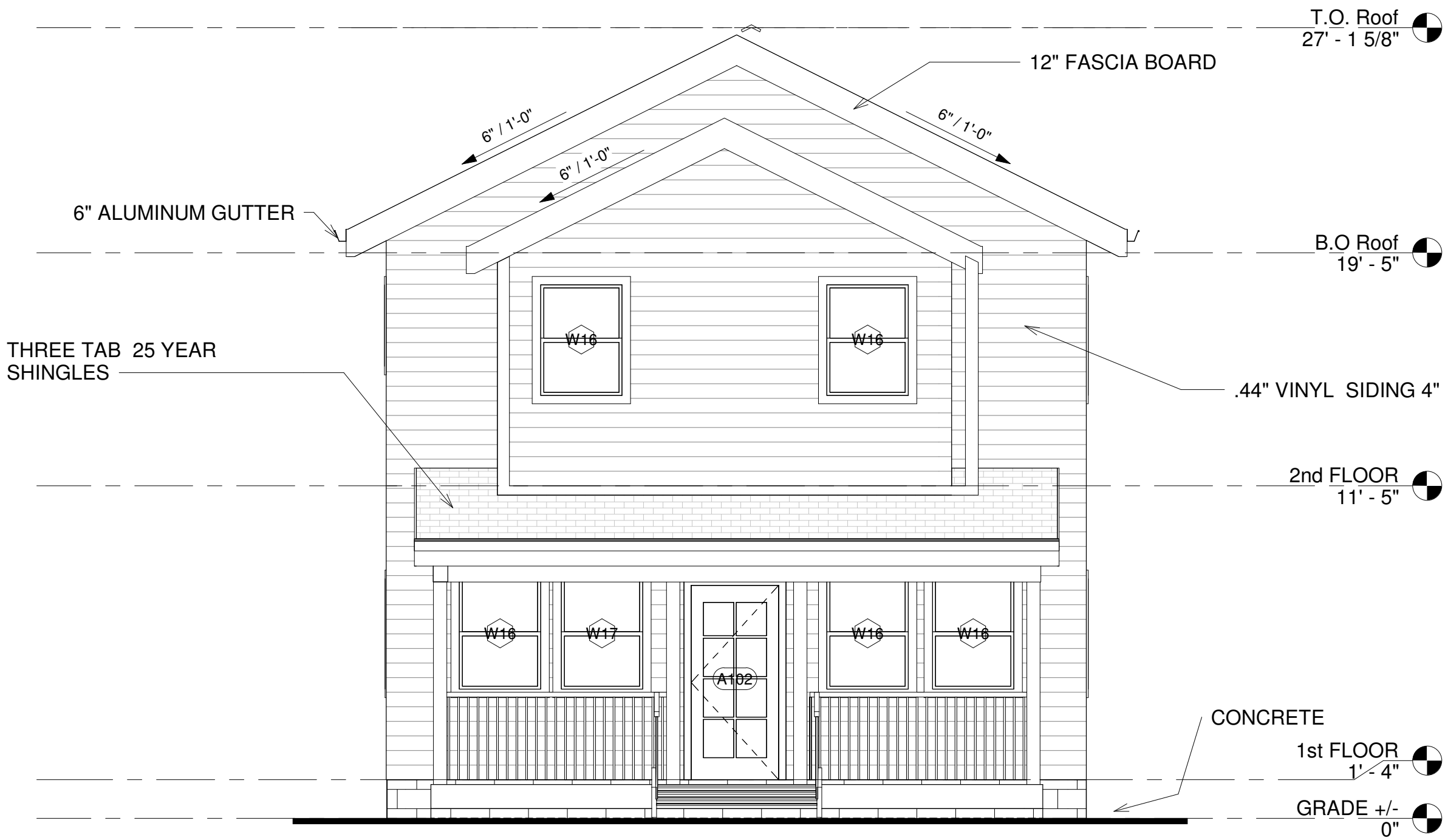


○ CEILING PLAN LEGEND
1/2" = 1'-0"

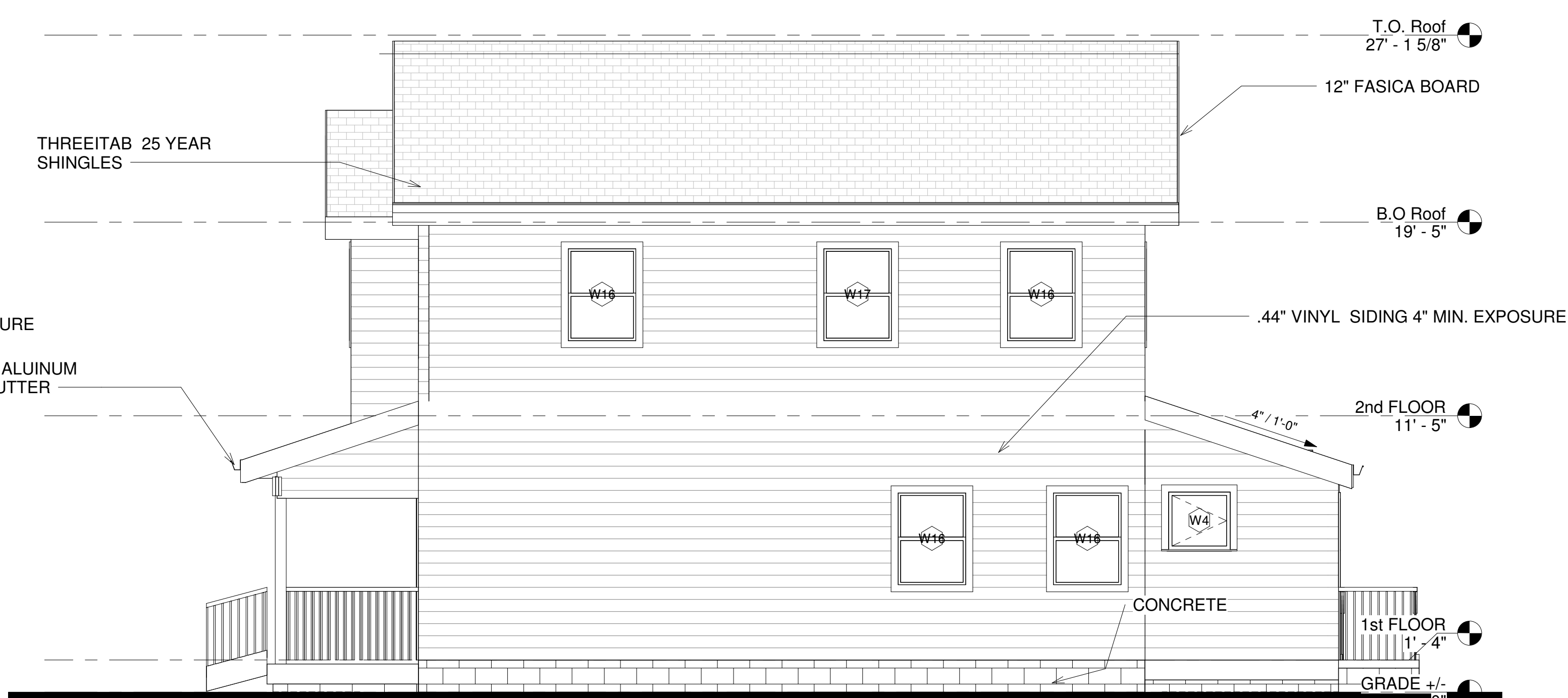


② $\frac{2\text{nd FLOOR}}{1/4" = 1'-0"}$

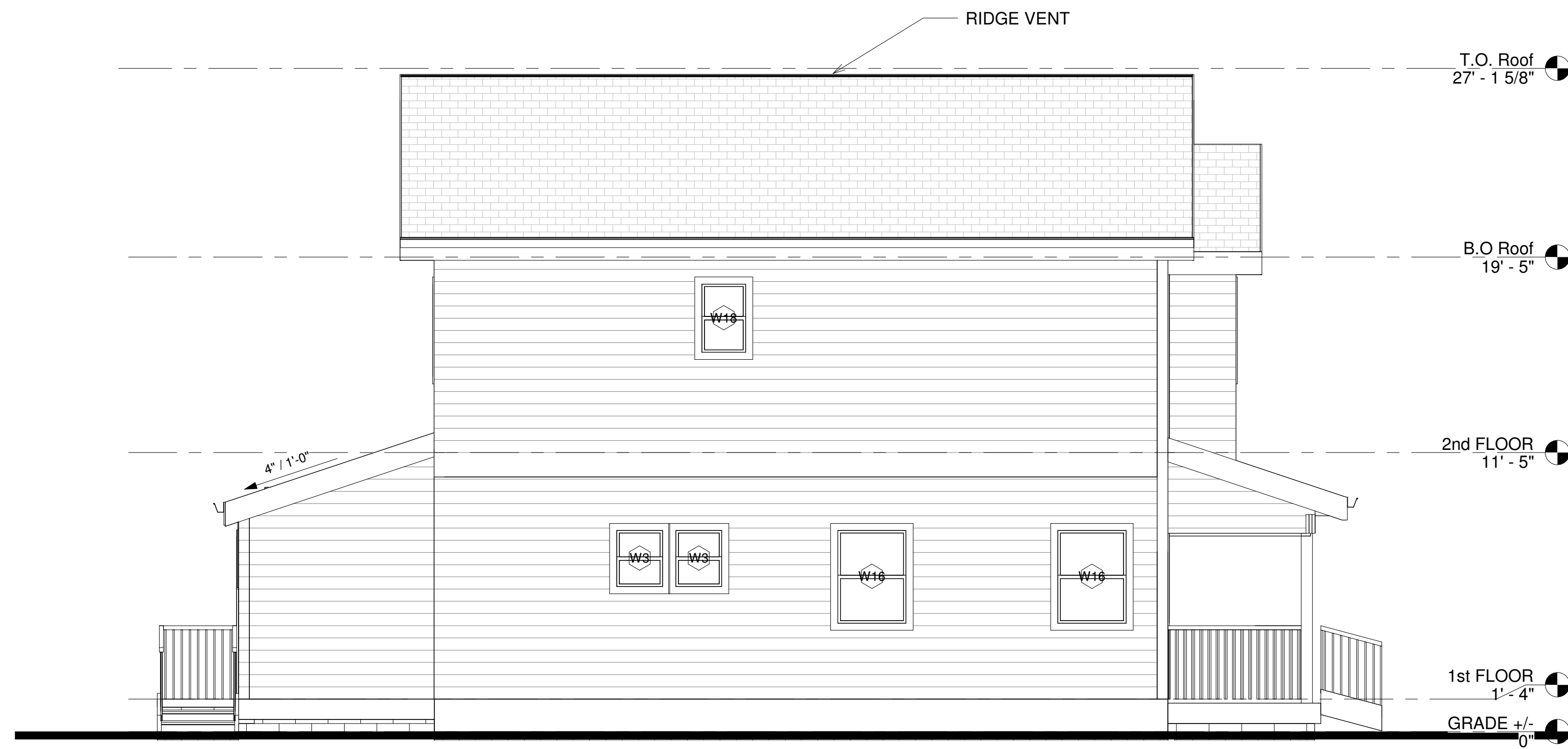
11/3/2020 12:00:51 PM C:\Users\DJDocuments\1971200- 3 Bedroom_2 Bath_2 Stories_1302 W.25th 09-11-2020_emaild\con.rvt



1 SOUTH
1/4" = 1'-0"



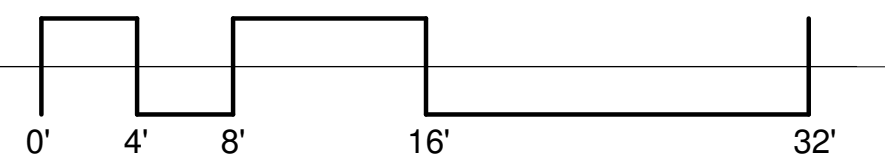
4 EAST
1/4" = 1'-0"



2 WEST
1/4" = 1'-0"



3 NORTH
1/4" = 1'-0"



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1302 W. 25TH STREET

Indianapolis, Indiana 46208

Issue Date / Project Status

PROJECT NUMBER 1971200
DATE 09-08-2020

DRAWN BY EEHD
CHECKED BY SEG

NO.	DESCRIPTION	DATE

ELEVATIONS

A-200

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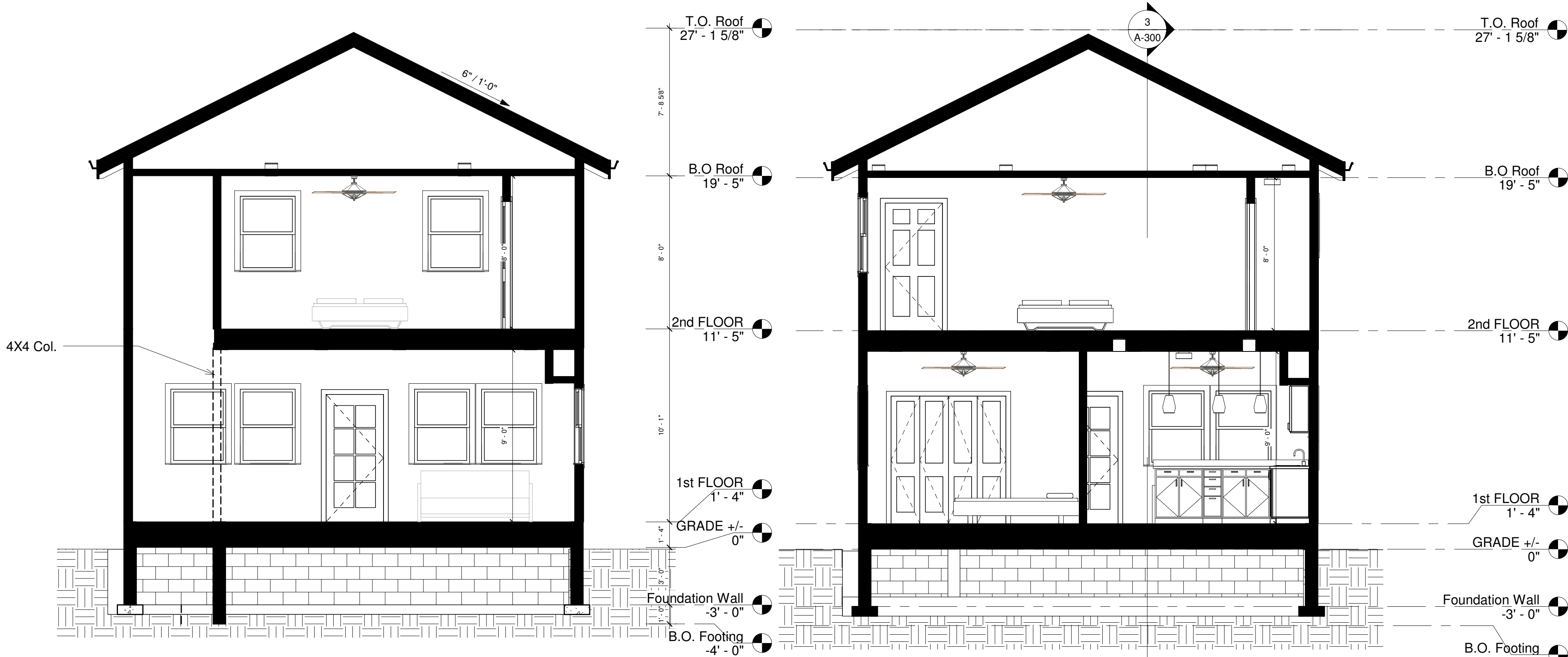
PROJECT NUMBER 1971200
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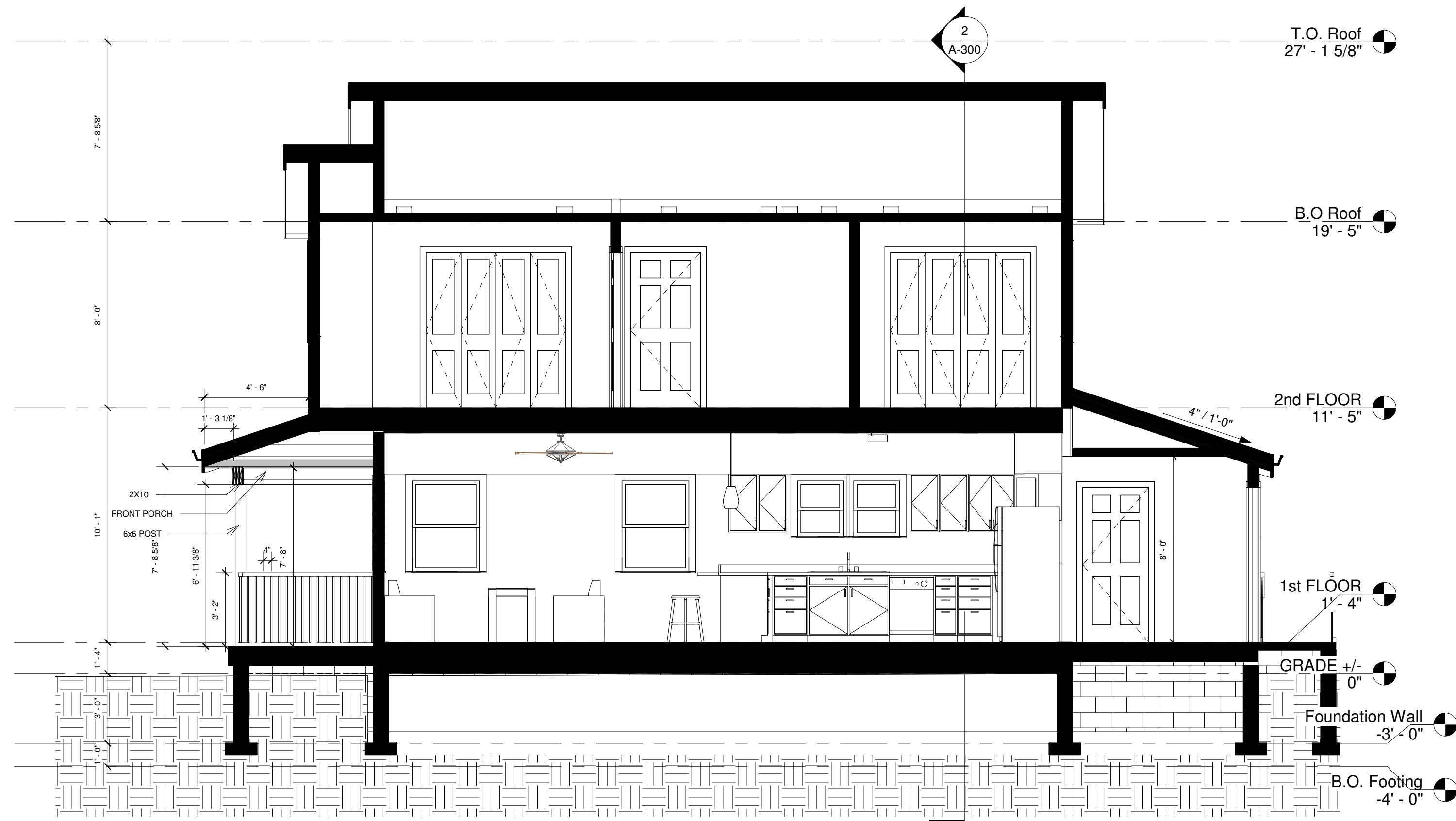
BUILDING / WALL
SECTIONS

A-300

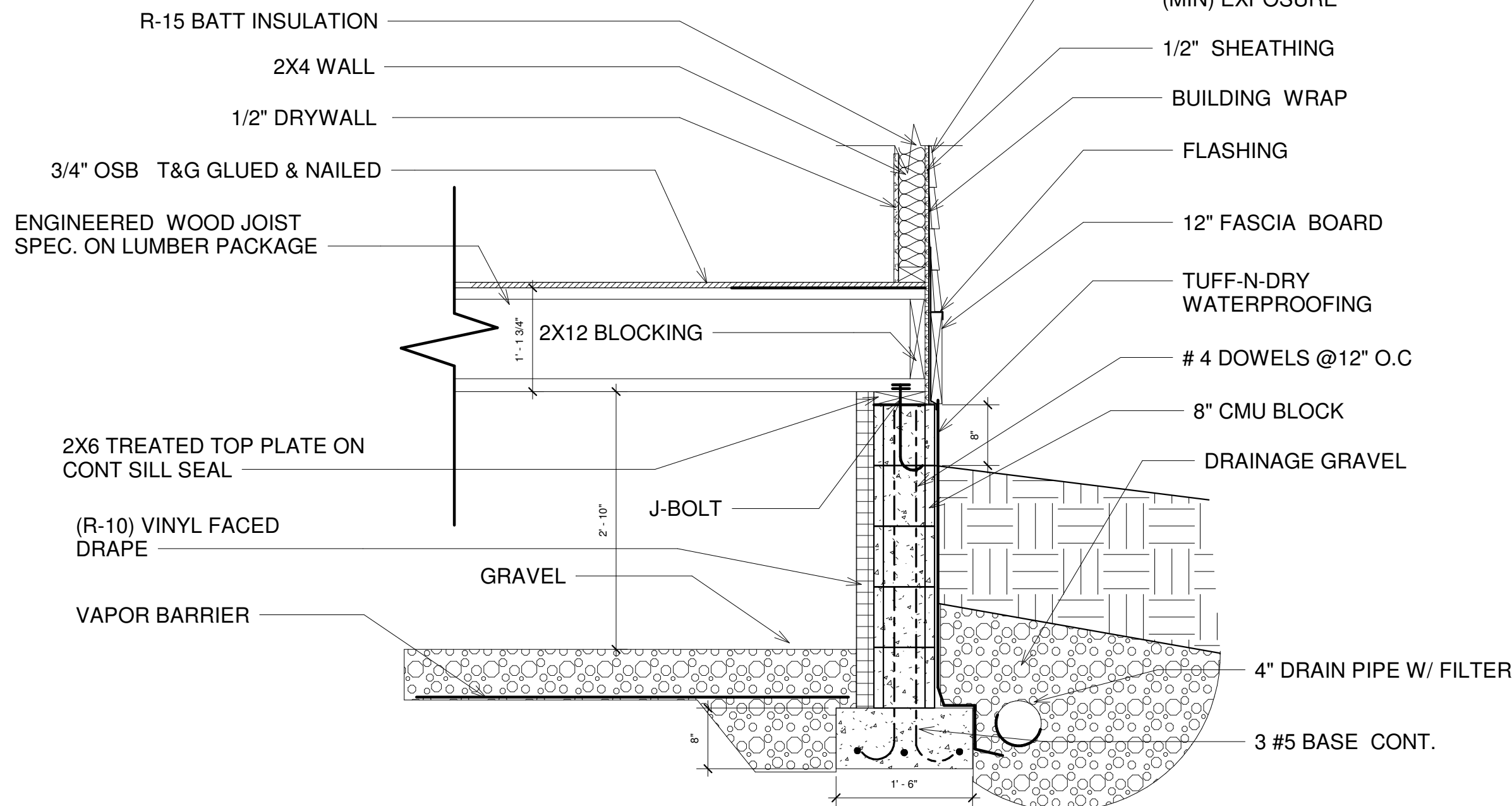
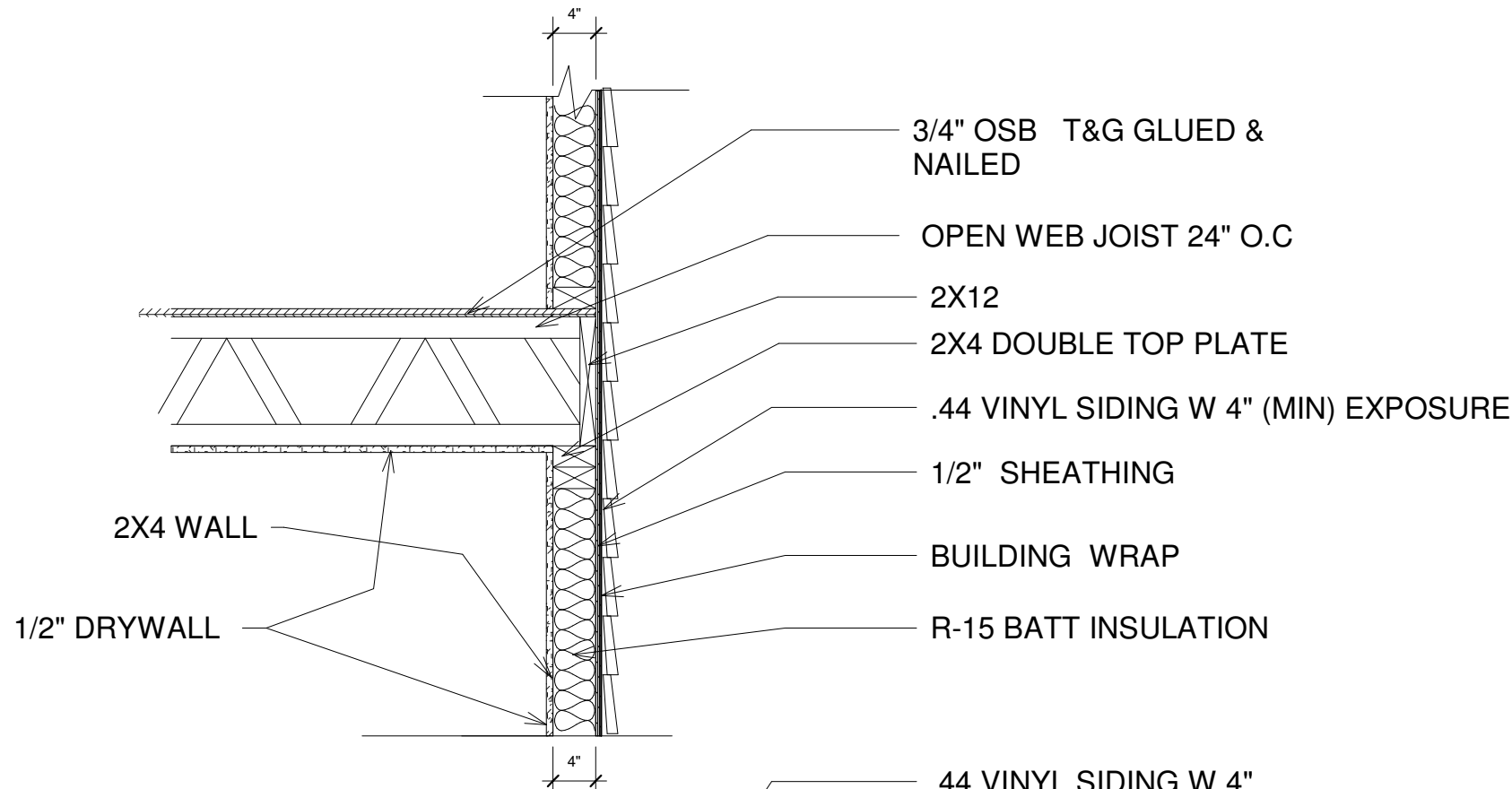
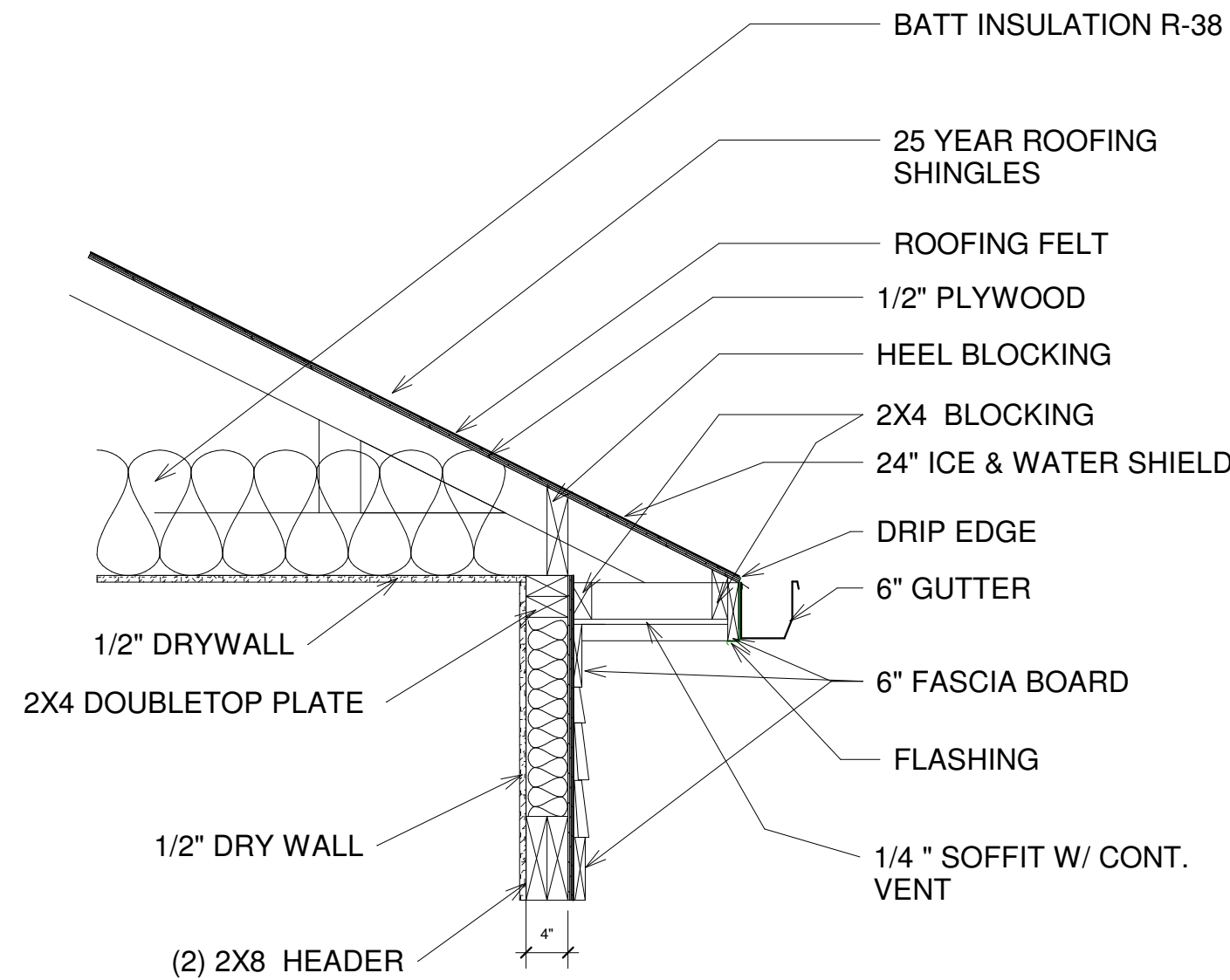
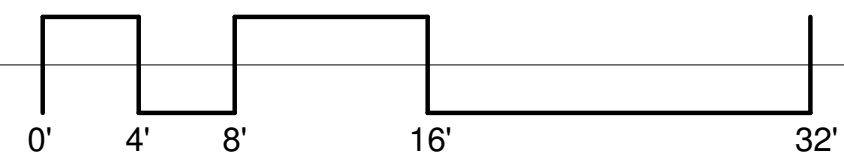


1 Section 1
1/4" = 1'-0"

2 Section 3
1/4" = 1'-0"

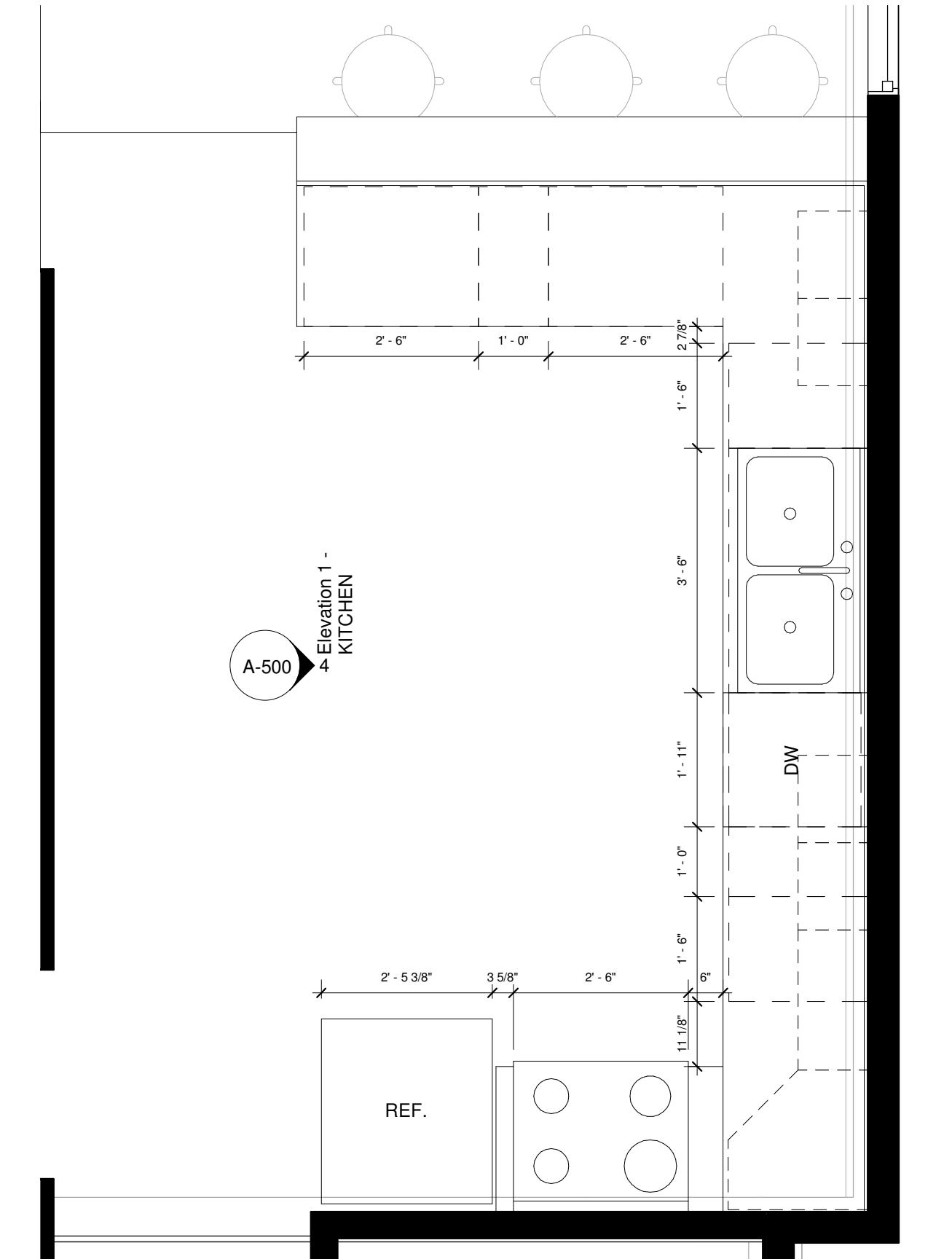


3 Section 2
1/4" = 1'-0"

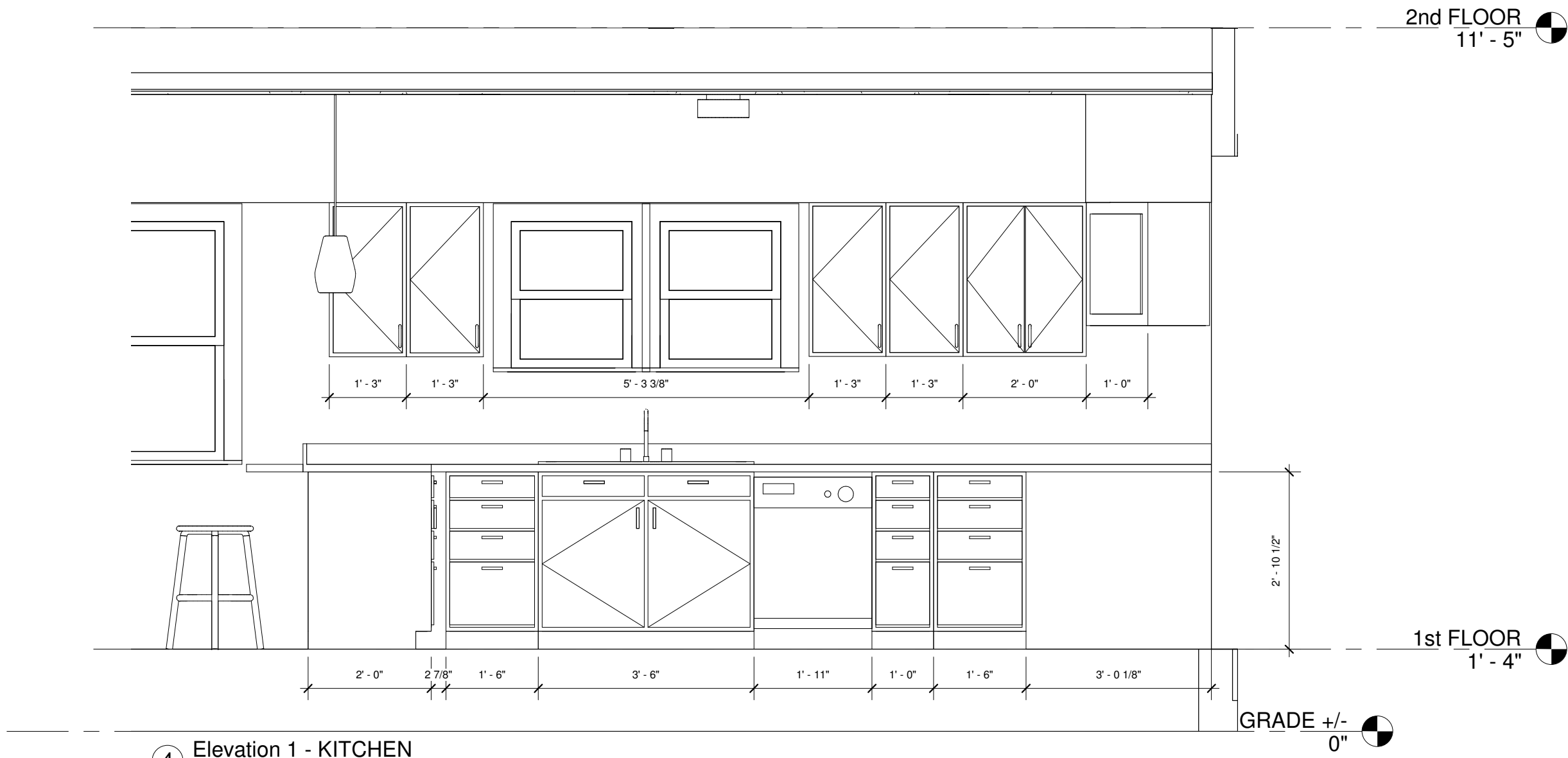


4 WALL SECTION 2
3/4" = 1'-0"

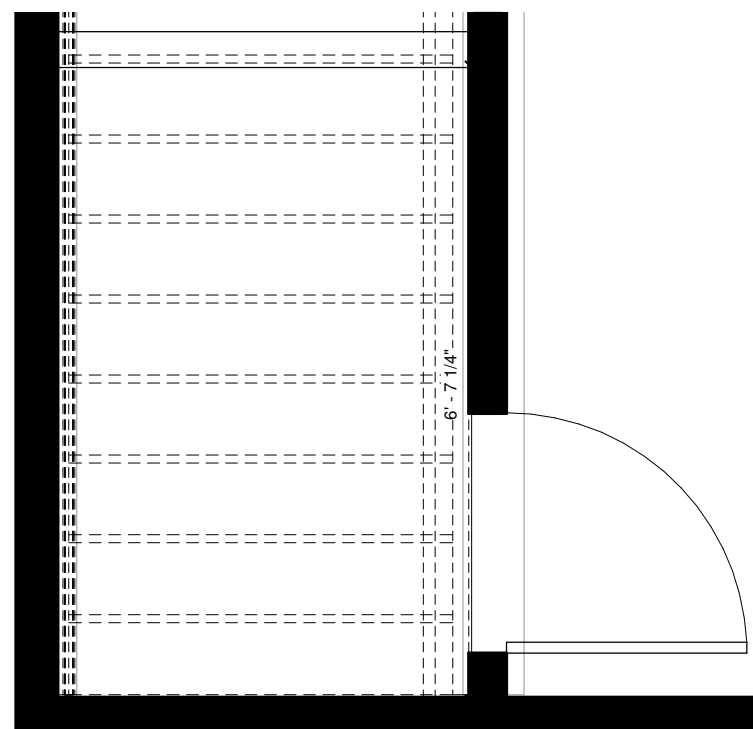
11/3/2020 12:00:54 PM C:\Users\DJ\Documents\1971200- 3 Bedroom_2 Bath_2 Stories_1302 W.25th 09-11-2020_ emiledxcon.rvt



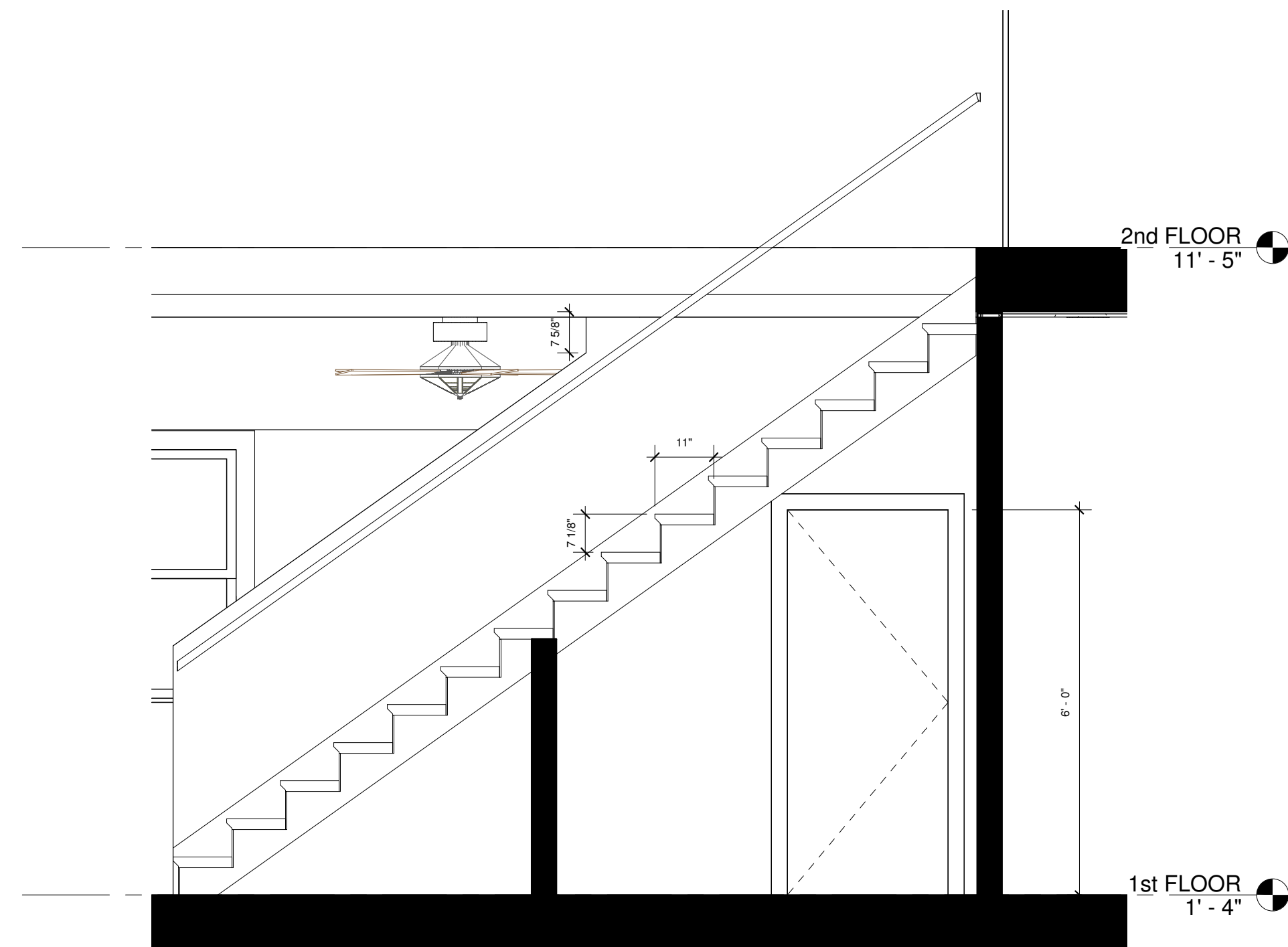
3 First Floor - Kitchen
1/2" = 1'-0"



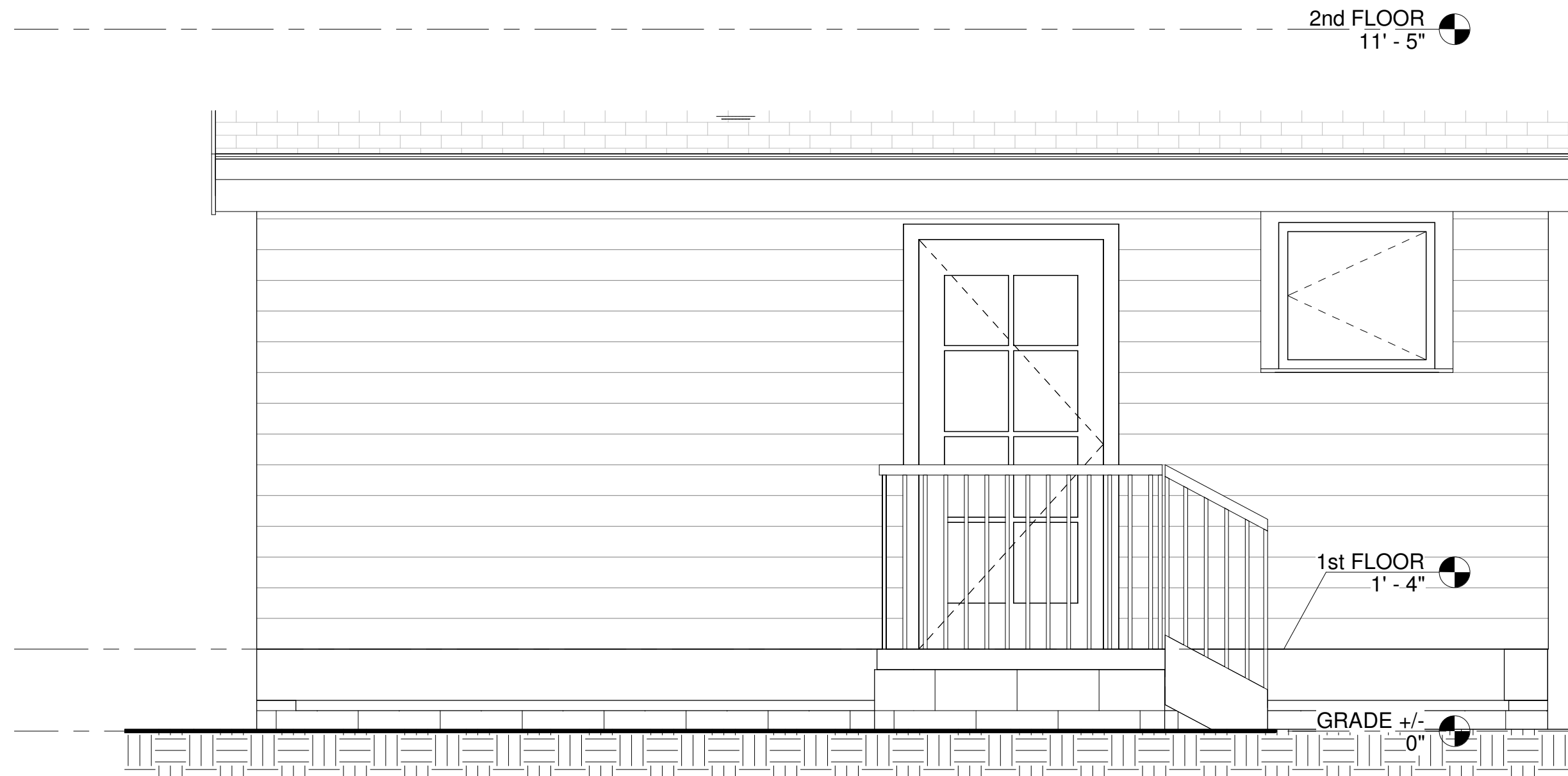
4 Elevation 1 - KITCHEN
1/2" = 1'-0"



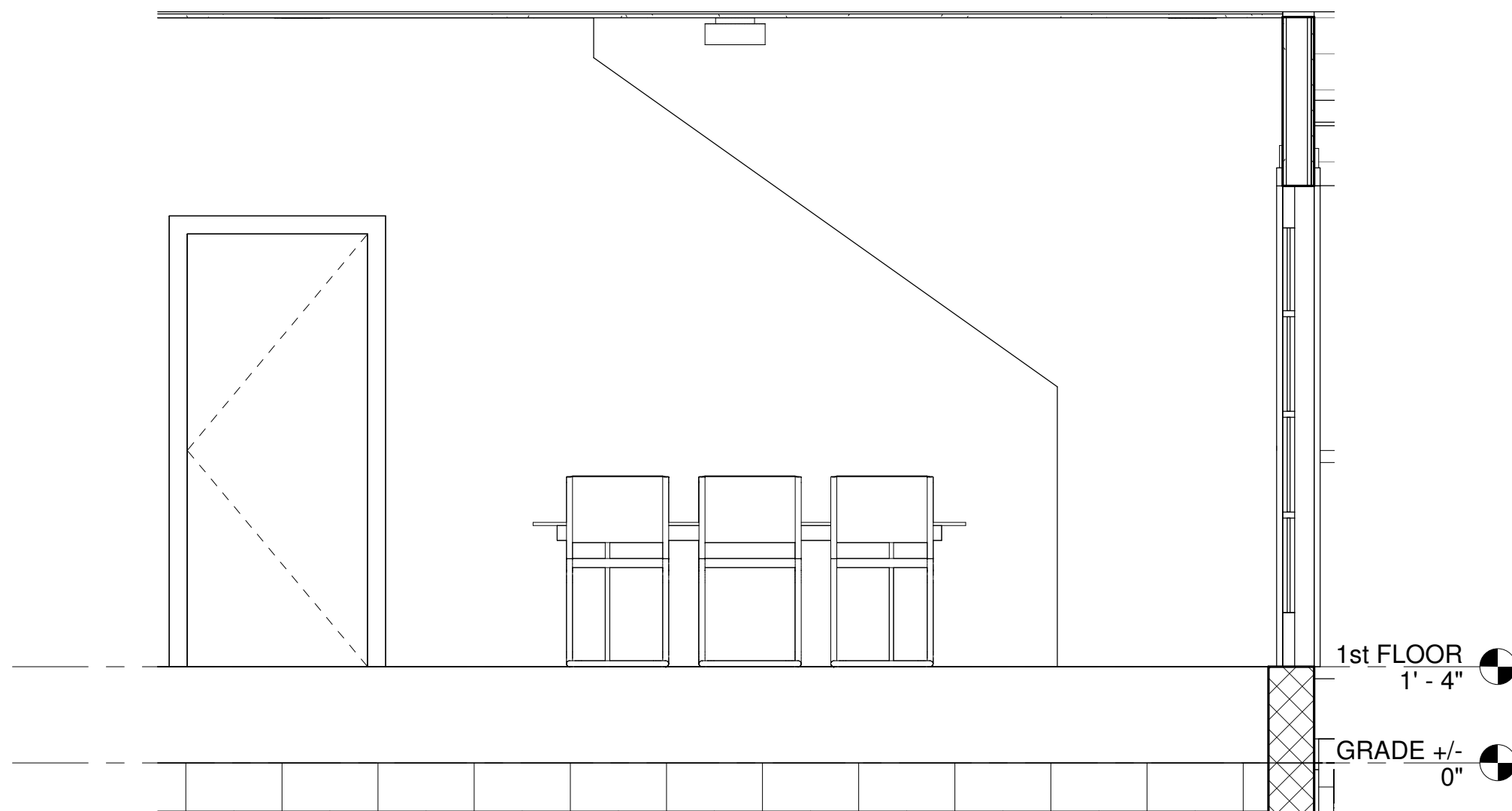
1 First Floor - Door under Stairs
1/2" = 1'-0"



2 Section 4 - Door under Stairs
1/2" = 1'-0"

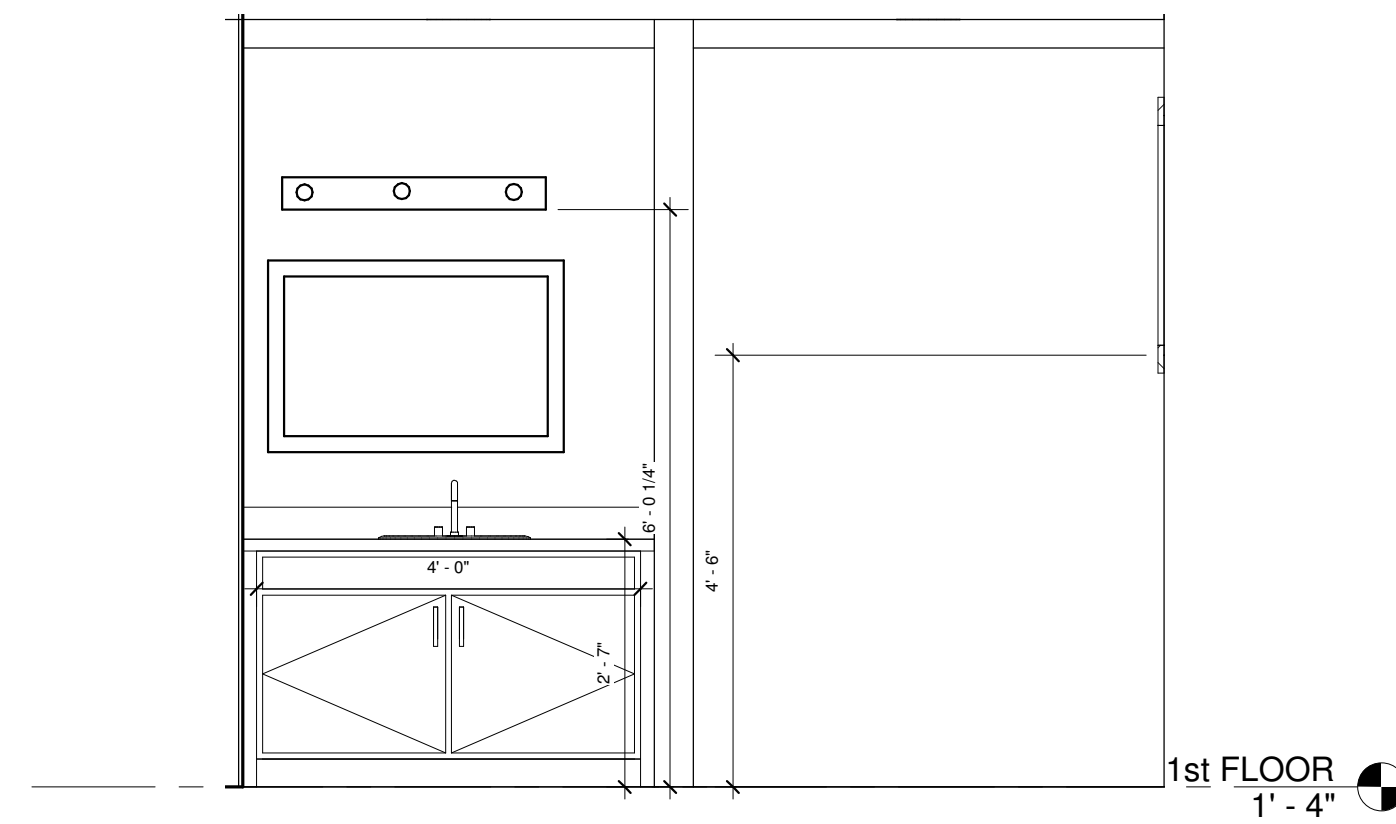


6 NORTH STAIR ELEVATION
1/2" = 1'-0"



5 Elevation 7 - LIVING ROOM/ STAIR WALL
1/2" = 1'-0"

7 Elevation 8 - MASTER BATH
1/2" = 1'-0"



RGC collaborative

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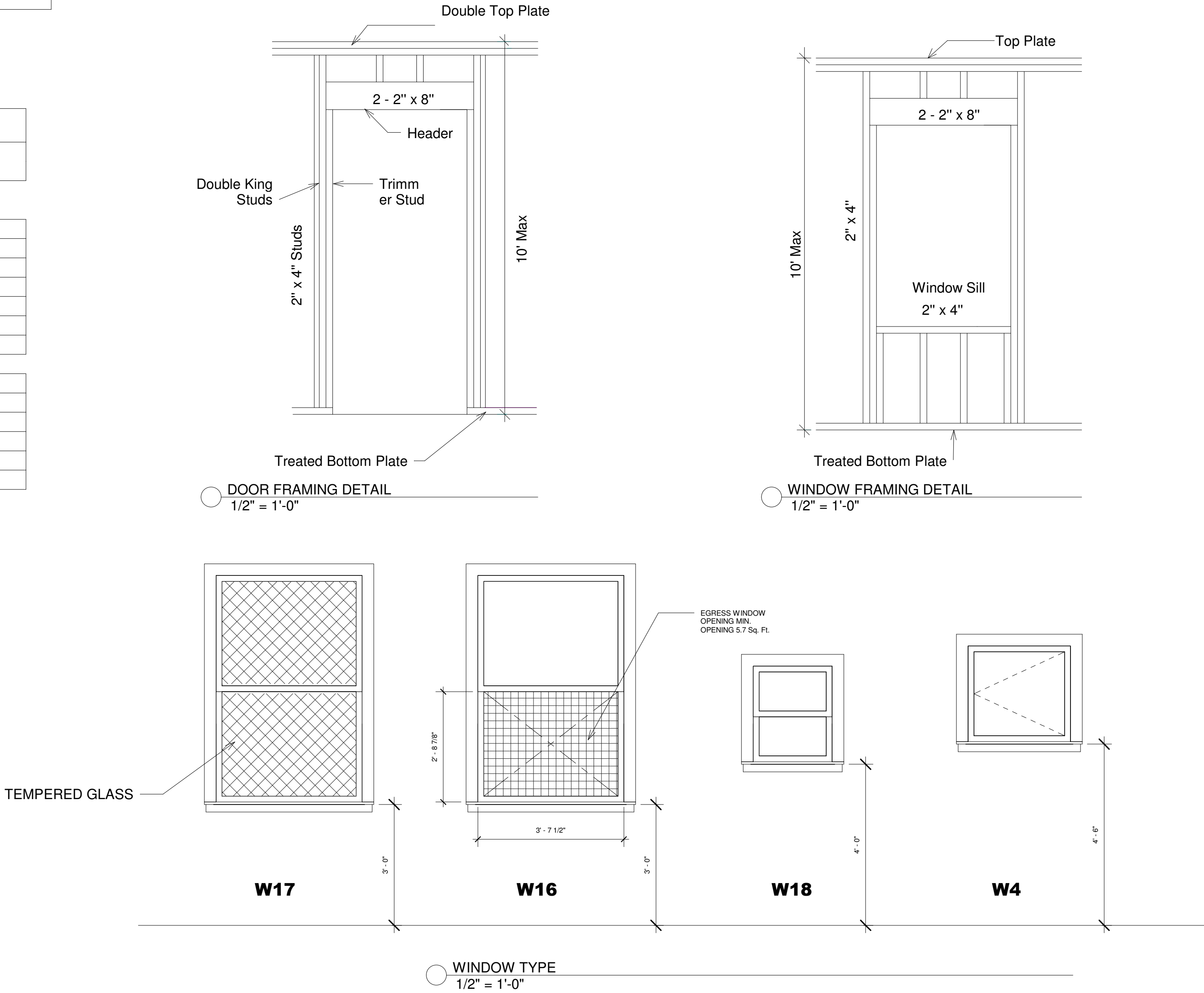
ENLARGED
PLANS/INTERIOR
ELEVATIONS
A-500

C:\Users\DJ\Documents\1971200- 3 Bath_2 Stories_1302 W.25th 09-11-2020_ emiled\con.rvt 11/3/2020 12:00:54 PM

Window Schedule												
Type Mark	R.O.		Level	Sill Height	Type	Finish	Head	Sill	Glazing		Head Height	Comments
	Width	Height							Thickness	Type		
W3												
1st FLOOR												
W3	2' - 1"	2' - 6"	1st FLOOR	4' - 6"	Double Hung with Trim						7' - 0"	
W3	2' - 1"	2' - 6"	1st FLOOR	4' - 6"	Double Hung with Trim						7' - 0"	
W3: 2												
W4												
1st FLOOR												
W4	2' - 8"	2' - 6"	1st FLOOR	4' - 6"	Casement with Trim						7' - 0"	
W4	2' - 8"	2' - 6"	1st FLOOR	4' - 6"	Casement with Trim						7' - 0"	
W4: 2												
W16												
1st FLOOR												
W16	3' - 0"	4' - 0"	1st FLOOR	3' - 0"	Double Hung with Trim						7' - 0"	
W16	3' - 0"	4' - 0"	1st FLOOR	3' - 0"	Double Hung with Trim						7' - 0"	
W16	3' - 0"	4' - 0"	1st FLOOR	3' - 0"	Double Hung with Trim						7' - 0"	
W16	3' - 0"	4' - 0"	1st FLOOR	3' - 0"	Double Hung with Trim						7' - 0"	
W16	3' - 0"	4' - 0"	1st FLOOR	3' - 0"	Double Hung with Trim						7' - 0"	
W16	3' - 0"	4' - 0"	1st FLOOR	3' - 0"	Double Hung with Trim						7' - 0"	
W16	3' - 0"	4' - 0"	1st FLOOR	3' - 0"	Double Hung with Trim						7' - 0"	
2nd FLOOR												
W16	3' - 0"	4' - 0"	2nd FLOOR	3' - 0"	Double Hung with Trim						7' - 0"	
W16	3' - 0"	4' - 0"	2nd FLOOR	3' - 0"	Double Hung with Trim						7' - 0"	
W16	3' - 0"	4' - 0"	2nd FLOOR	3' - 0"	Double Hung with Trim						7' - 0"	
W16	3' - 0"	4' - 0"	2nd FLOOR	3' - 0"	Double Hung with Trim						7' - 0"	
W16	3' - 0"	4' - 0"	2nd FLOOR	3' - 0"	Double Hung with Trim						7' - 0"	
W16	3' - 0"	4' - 0"	2nd FLOOR	3' - 0"	Double Hung with Trim						7' - 0"	
W16: 13												
W17												
1st FLOOR												
W17	3' - 0"	4' - 0"	1st FLOOR	3' - 0"	Double Hung with Trim						7' - 0"	TEMPERED GLASS
2nd FLOOR												
W17	3' - 0"	4' - 0"	2nd FLOOR	3' - 0"	Double Hung with Trim						7' - 0"	TEMPERED GLASS
W17: 2												
W18												
2nd FLOOR												
W18	2' - 0"	3' - 0"	2nd FLOOR	4' - 0"	Double Hung with Trim						7' - 0"	
W18: 1												

Door Schedule								
Door Number	Door		Family	Level	Door		Frame	Comments
	Width	Height			Thickness	Material	Material	
1st FLOOR								
A102	3' - 0"	6' - 8"	Single-Glass 2	1st FLOOR	2"			DOOR UNDER THE STAIRS
A103	2' - 6"	6' - 0"	Single-Flush	1st FLOOR	1 3/8"			
A104	3' - 0"	6' - 8"	Single-Glass 2	1st FLOOR	2"			
A105	3' - 0"	6' - 8"	Single-Panel 4	1st FLOOR	1 3/8"	WD	WD	
A105-A	6' - 0"	6' - 8"	Bifold-4 Panel	1st FLOOR	1 1/2"	WD	WD	
A106	2' - 10"	6' - 8"	Single-Panel 4	1st FLOOR	1 3/8"			
A107	2' - 10"	6' - 8"	Single-Panel 4	1st FLOOR	1 3/8"	WD	WD	
2nd FLOOR								
A201	3' - 0"	6' - 8"	Single-Panel 4	2nd FLOOR	1 3/8"	WD	WD	
A201-A	6' - 0"	6' - 8"	Bifold-4 Panel	2nd FLOOR	1 1/2"			
A202	3' - 0"	6' - 8"	Single-Panel 4	2nd FLOOR	1 3/8"	WD	WD	
A202-A	6' - 0"	6' - 8"	Bifold-4 Panel	2nd FLOOR	1 1/2"			
A203	3' - 0"	6' - 8"	Single-Flush	2nd FLOOR	1 3/8"			
A205	3' - 0"	6' - 8"	Single-Panel 4	2nd FLOOR	1 3/8"	WD	WD	

Room Schedule							
Room Number	Room Name	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Ceiling Height	Comments
A102	LIVING ROOM	CARPET	4 1/4"	PAINTED	STRAIGHT		
A105	MASTER BEDROOM	CARPET	4 1/4"	PAINTED	STRAIGHT		
A106	BATH	VINYL	4 1/4"	PAINTED	STRAIGHT		
A104	KITCHEN	VINYL	4 1/4"	PAINTED	STRAIGHT		
A202	BEDROOM	CARPET	4 1/4"	PAINTED	STRAIGHT		
A201	BEDROOM	CARPET	4 1/4"	PAINTED	STRAIGHT		
A101	DINING ROOM	VINYL	4 1/4"	PAINTED	STRAIGHT		
A201-A	CLOSET	CARPET	4 1/4"	PAINTED	STRAIGHT		
A202-A	CLOSET	CARPET	4 1/4"	PAINTED	STRAIGHT		
A205	BATHROOM	VINYL	4 1/4"	PAINTED	STRAIGHT		
A107	MECH ROOM	VINYL	4 1/4"	PAINTED	STRAIGHT		
A103	STORAGE CLOSET	VINYL	4 1/4"	PAINTED	STRAIGHT		
A203	LAUNDRY	VINYL	4 1/4"	PAINTED	STRAIGHT		
A204	CLOSET	CARPET	4 1/4"	PAINTED	STRAIGHT		



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SCHEDULES

A-700